



REGIONAL LOCATION MAP

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

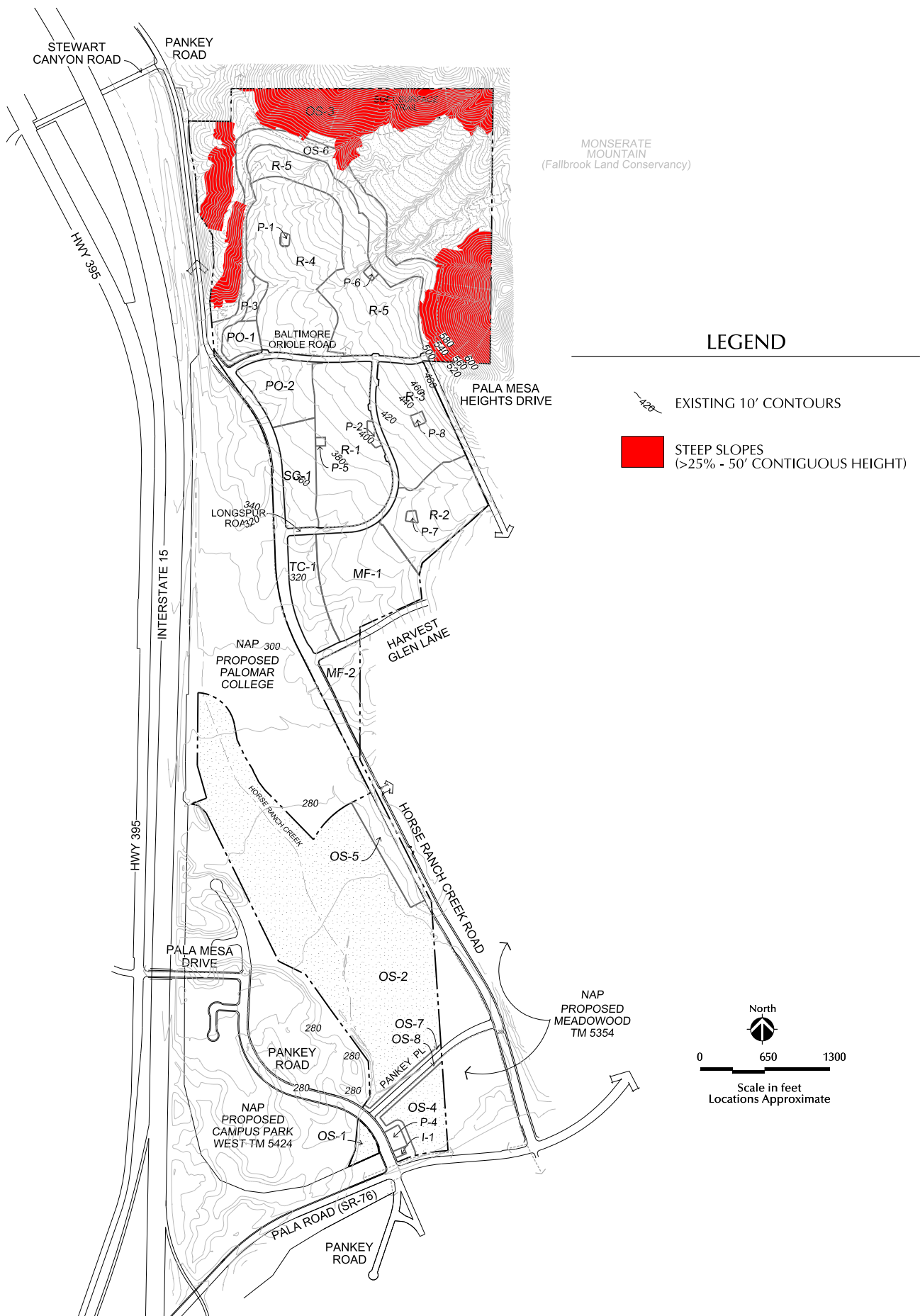
FIGURE 1



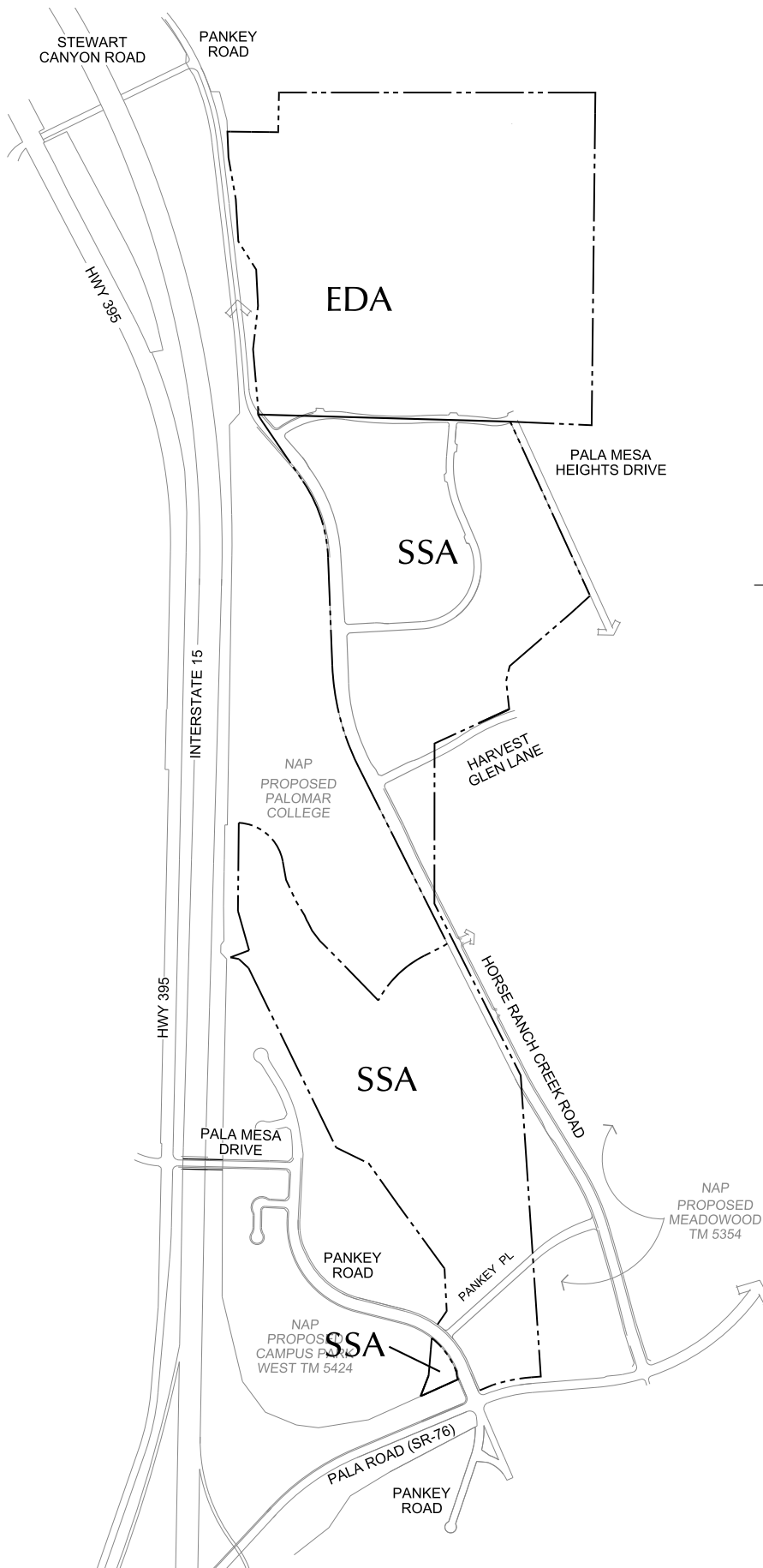
VICINITY MAP & SURROUNDING LAND USES

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 2

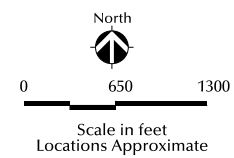


EXISTING TOPOGRAPHY & STEEP SLOPES
 CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT
 FIGURE 3



LEGEND

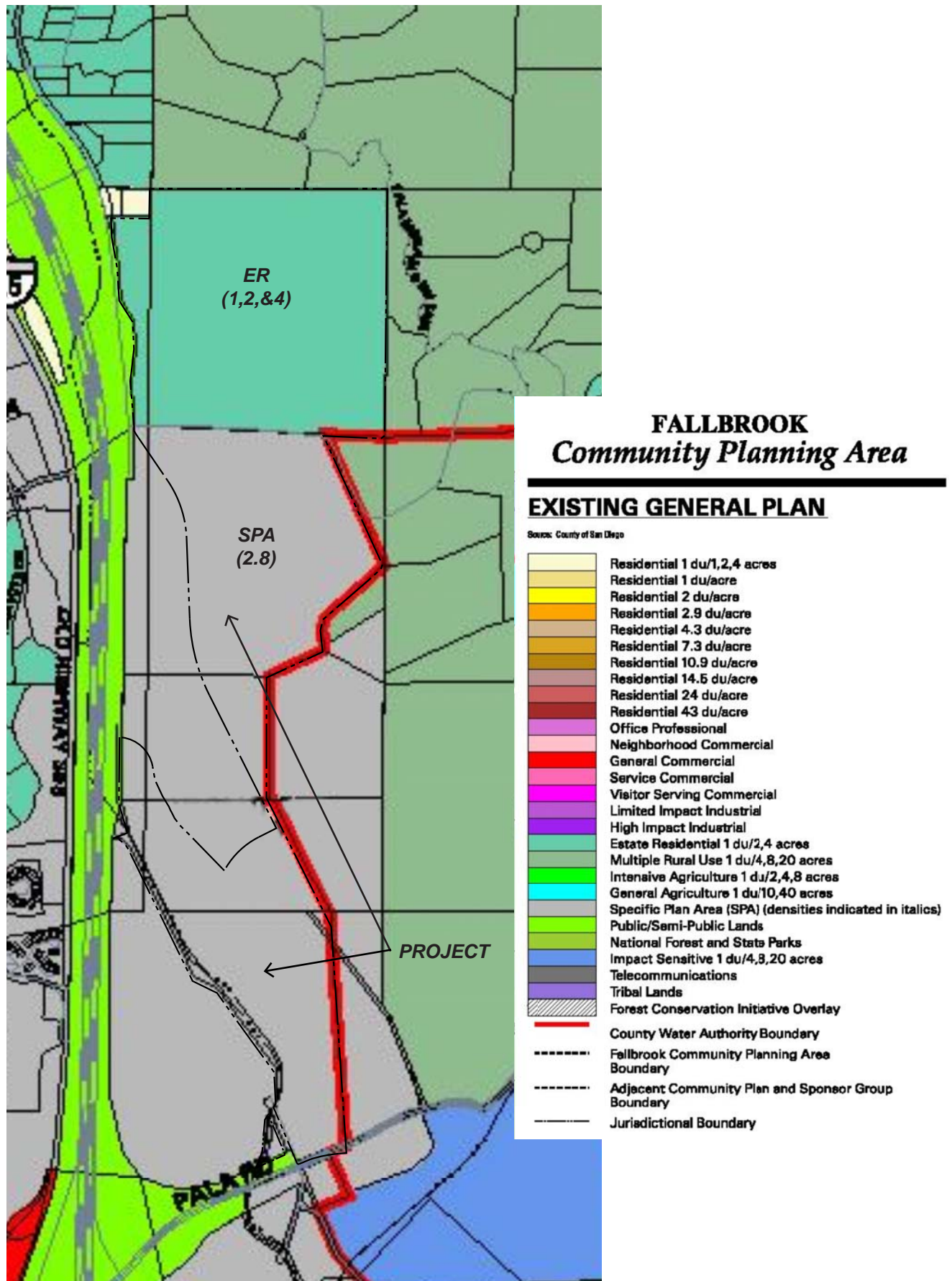
- EDA ESTATE DEVELOPMENT AREA
- SSA SPECIAL STUDY AREA



EXISTING REGIONAL LAND USE

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

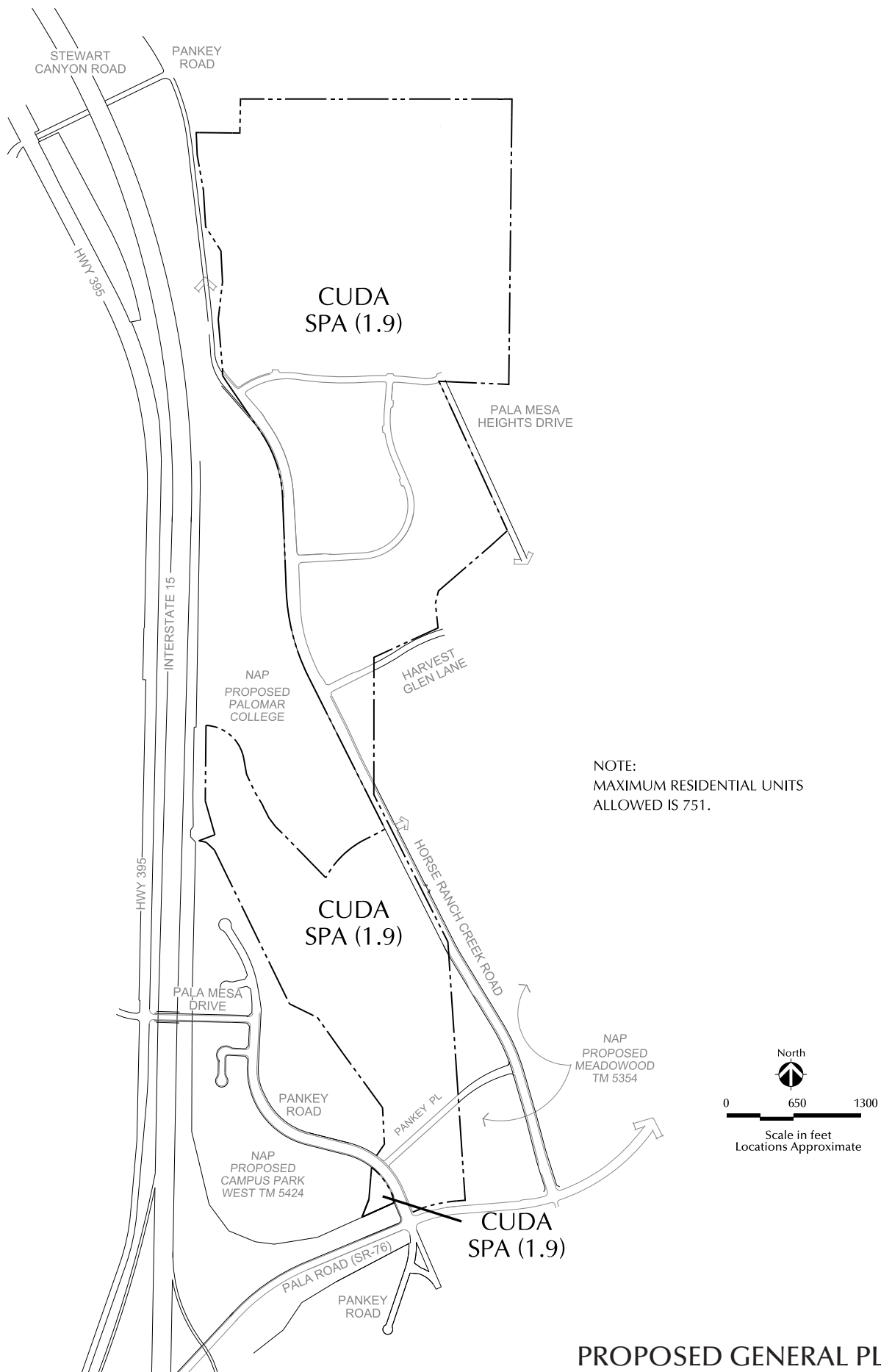
FIGURE 4



EXISTING GENERAL PLAN

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

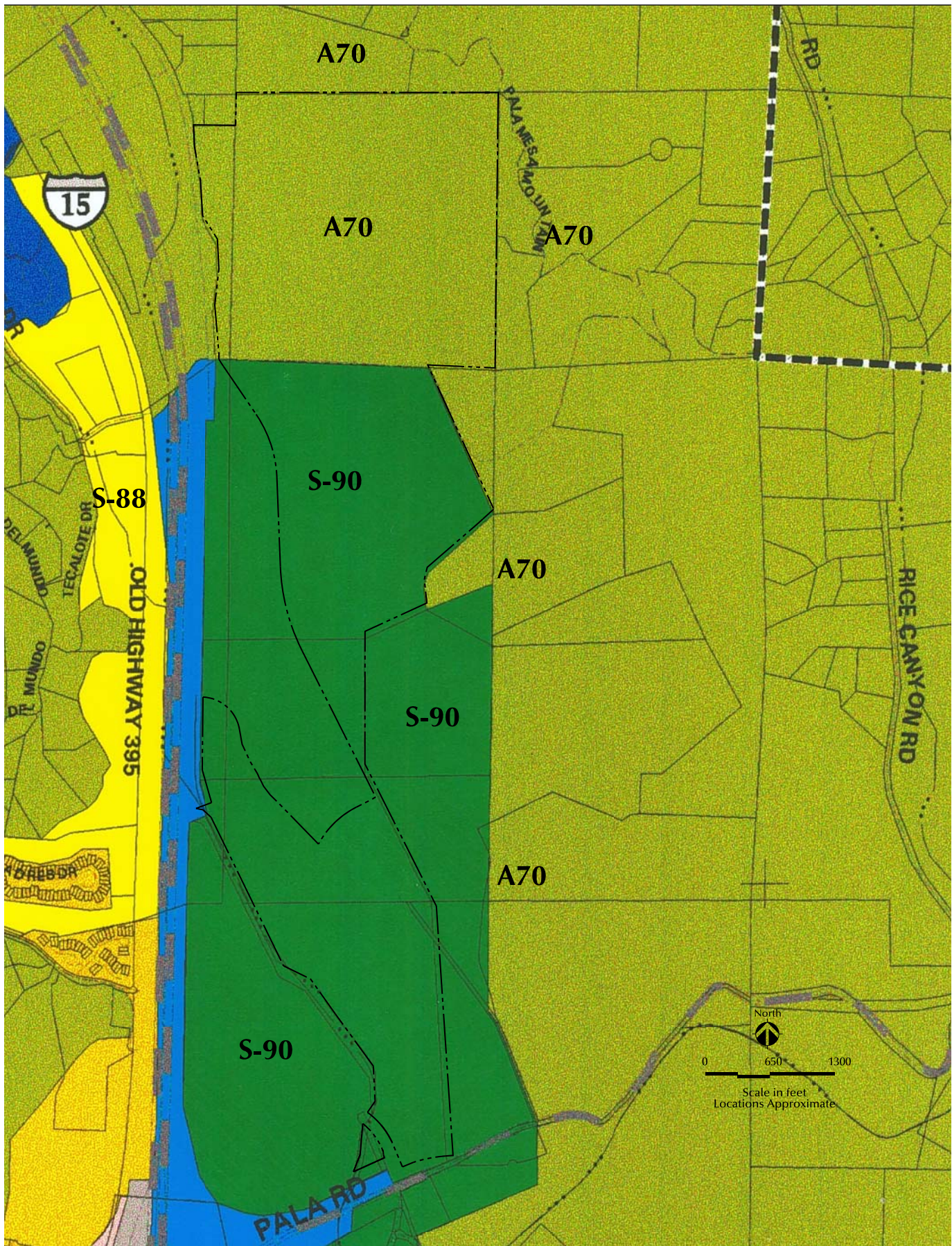
FIGURE 5



PROPOSED GENERAL PLAN AND REGIONAL LAND USE

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

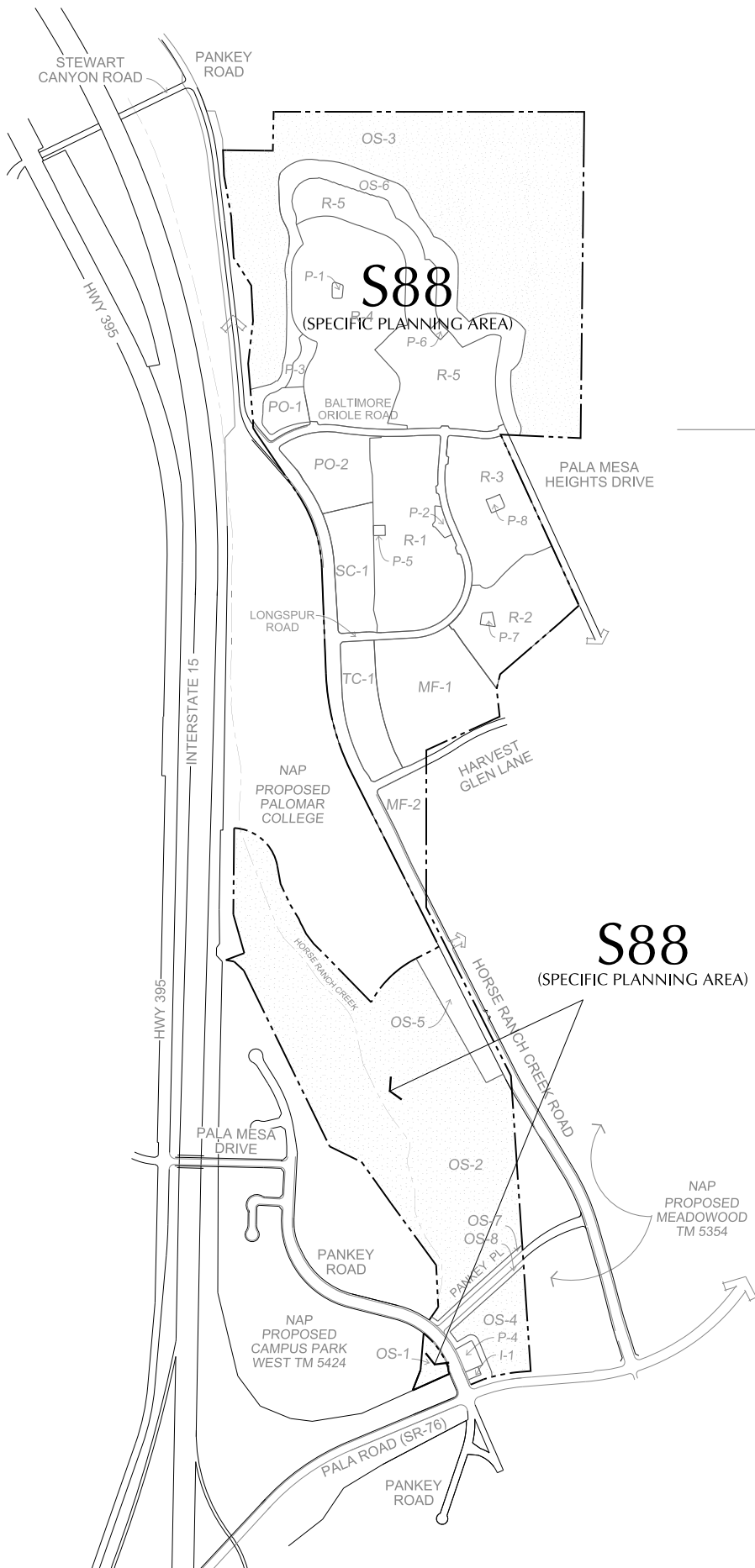
FIGURE 6



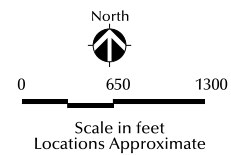
EXISTING ZONING

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

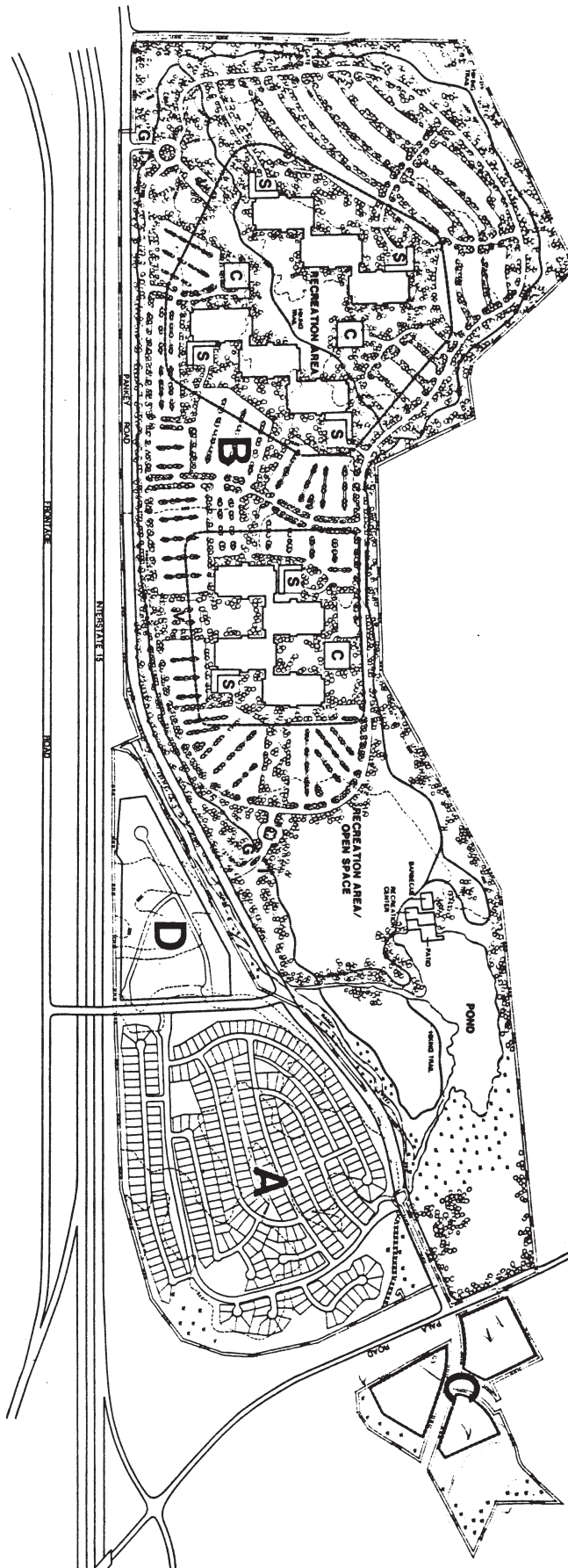
FIGURE 7



LEGEND



PROPOSED ZONING

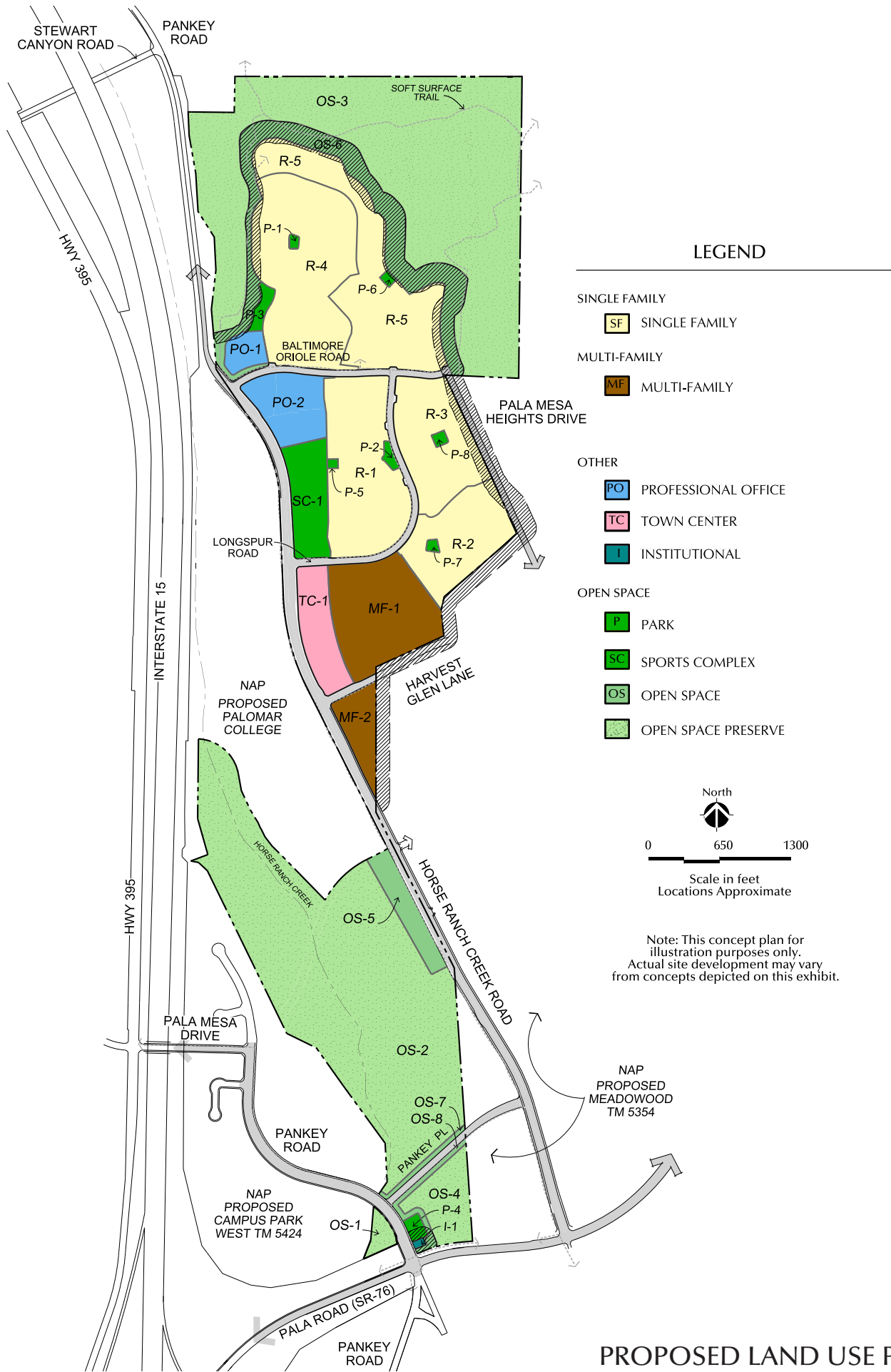


LEGEND

- A - SINGLE FAMILY RESIDENTIAL - 82 AC.
(MANUFACTURED HOMES ON NON-PERMANENT FOUNDATIONS)
- B - MAJOR RESEARCH / DEVELOPMENT & MANUFACTURING FACILITIES - 323 AC.
- C - GENERAL COMMERCIAL - 10.5 AC.
- D - MULTI-FAMILY RESIDENTIAL - 21 AC.
(150 UNITS)
- S - SERVICE PADDOCK

Source: Hewlett-Packard/Campus Park Specific Plan

EXISTING CAMPUS PARK SPECIFIC PLAN LAND USE



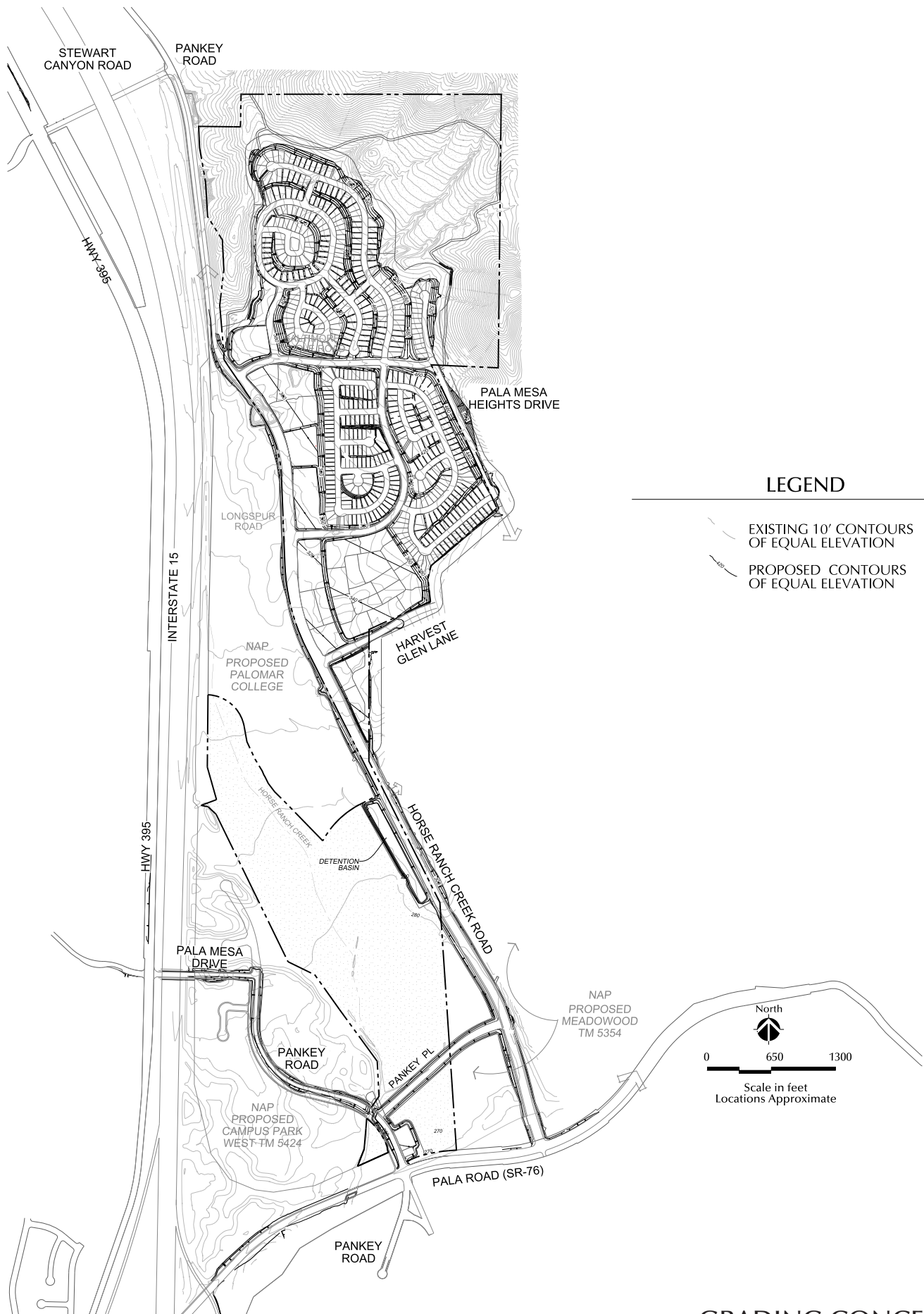
PROPOSED LAND USE PLAN
 CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

CAMPUS PARK - PROPOSED PROJECT
LAND USE SUMMARY 10/17/10

Land Use	Planning Art	Description	Acreage (gross)	Acreage (net)	Units	Gross Density (Du/Ac.)	Net Density (Du/Ac.)	% of Project	Phase	Lot Size	Notes
Single Family											
Single Family	R-1	Single Family	23.4		136	5.8			1	40x100	2
Single Family	R-2	Single Family	14.7		75	5.1			1	45x100	2
Single Family	R-3	Single Family	16.4		64	3.9			1	50x100	2
Single Family	R-4	Single Family	31.8		122	3.8			3	45x100	2
Single Family	R-5	Single Family	27.2		124	4.6			3	50x100	2
Subtotal Single Family			113.5		521			27%			
Multi-Family											
Multi-Family	MF-1	Multi Family	19.0	16.9	189	9.9	11.2		2	Courtyard	1
Multi-Family	MF-2	Multi Family	5.3	4.2	41	7.7	9.8		2	Courtyard	1
Subtotal Multi Family			24.3	4.2	230			6%			
Total Residential			137.8		751			33%			3
Commercial											
Town Center	TC-1	Town Center	8.1	6.7		61,200 s.f.			6		
Subtotal Commercial			8.1	6.7		61,200 s.f.		2%			3
Professional Office											
Professional Office	PO-1	Professional Office	2.7	2.6		40,000 s.f.			5		
Professional Office	PO-2	Professional Office	8.8	7.4		117,000 s.f.			5		
Subtotal Professional Office			11.5	10.00		157,000 s.f.		3%			3
Parks and Open Space											
Park	P-1	Park (HOA)	0.3						3		
Park	P-2	Park (HOA)	0.5						1		
Park	P-3	Park (HOA)	1.2						4		
Park	P-4	Trail Staging Area	0.8						1		
Park	P-5	Park (HOA)	0.2						1		
Park	P-6	Park (HOA)	0.3						3		
Park	P-7	Park (HOA)	0.3						1		
Park	P-8	Park (HOA)	0.3						1		
Sports Complex	SC-1	Active Sports Park	8.5						3		
Open Space	OS-1	Open Space Preserve	1.6						1		
Open Space	OS-2	Open Space Preserve	94.1						2		
Open Space	OS-3	Open Space Preserve	93.7						1		
Open Space	OS-4	Open Space Preserve	7.6						1		
Open Space	OS-5	Detention Basin	5.2						2		
Open Space	OS-6	Open Space	19.1						1		
Open Space	OS-7	Open Space	0.9						1		
Open Space	OS-8	Open Space	1.8						1		
Subtotal Parks & Open Space			236.4					57%			
Other											
Institutional	I-1	Sewer Pump Station	0.2						1		
Major Circulation		Roads	22.1					5%			
Subtotal Other			22.3					5%			
Grand Total			416.1					100%			

Notes:
1. Includes HOA open space lots shown on T.M.
2. Gross acreage includes internal neighborhood streets
3. Net acreage excludes manufactured slopes.

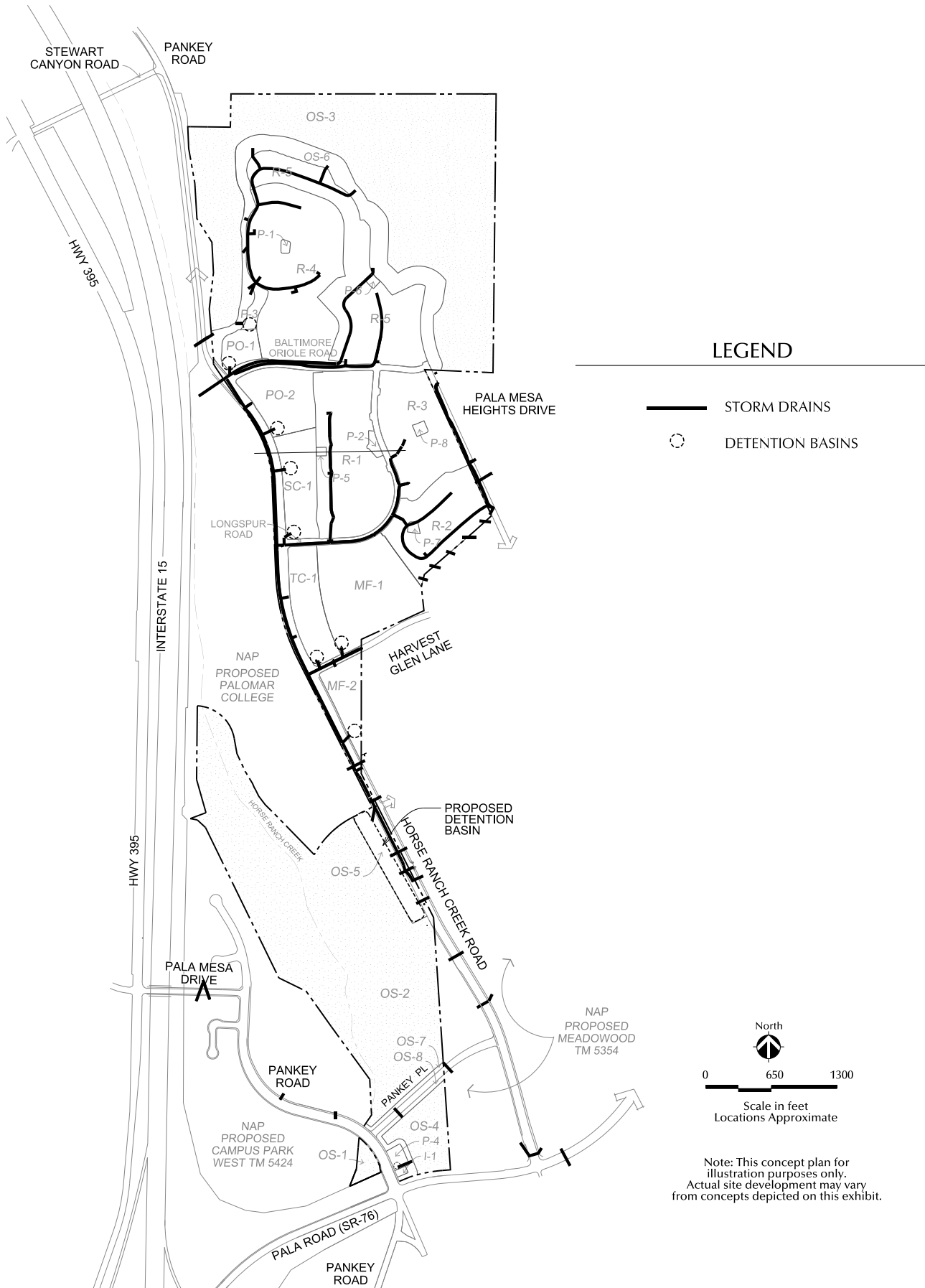
CAMPUS PARK
LAND USE SUMMARY



GRADING CONCEPT

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

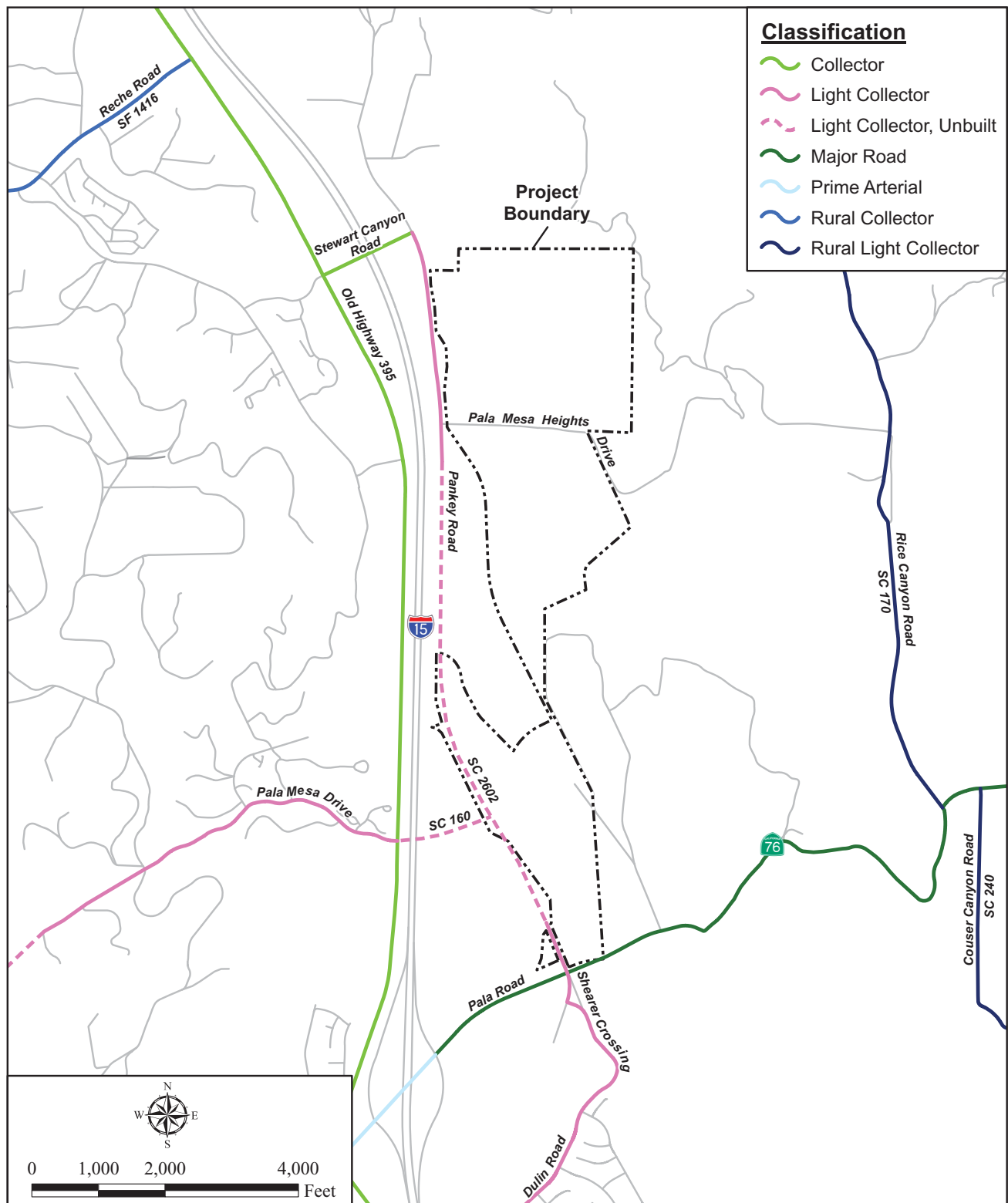
FIGURE 12



CONCEPTUAL DRAINAGE PLAN

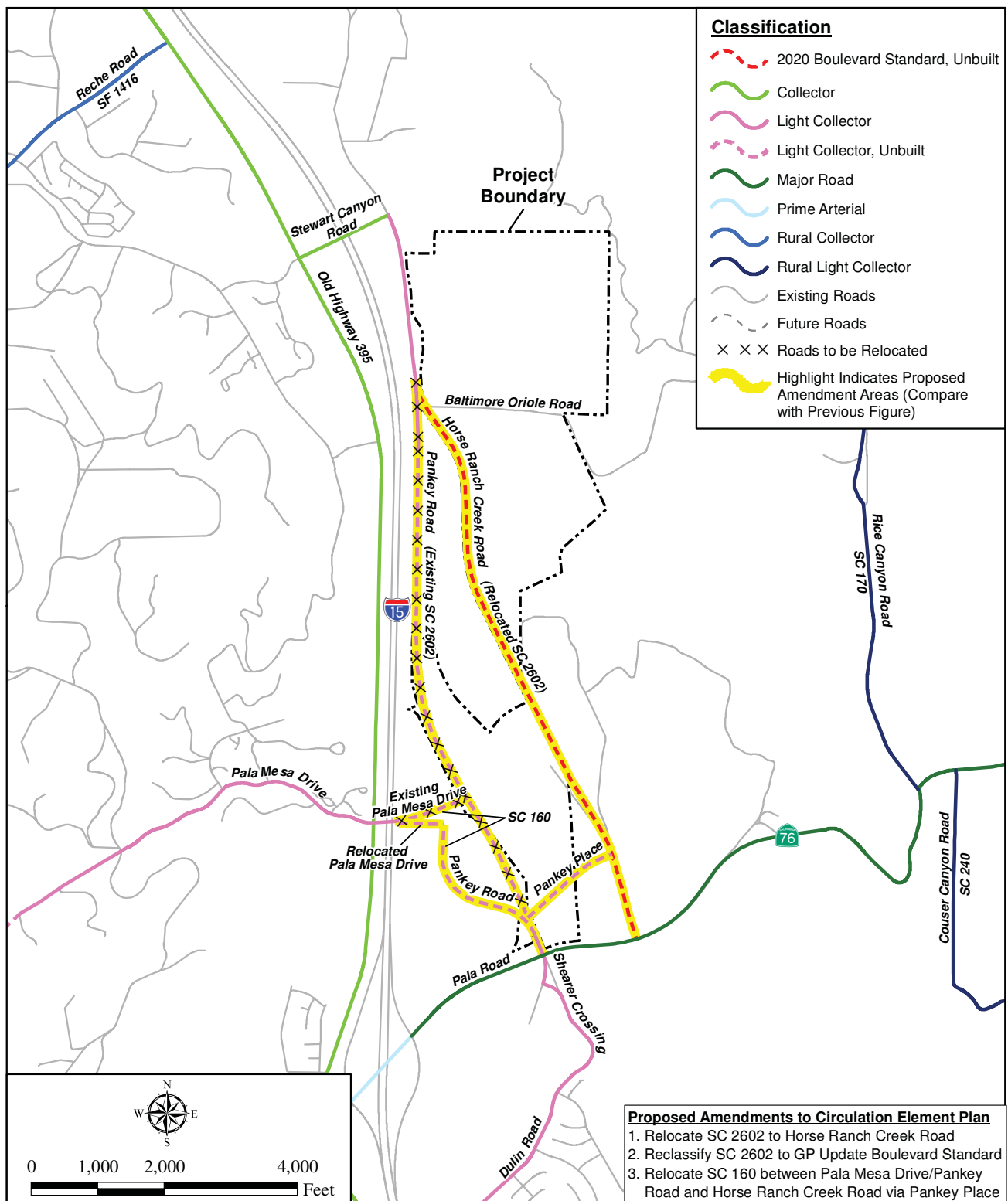
CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 13



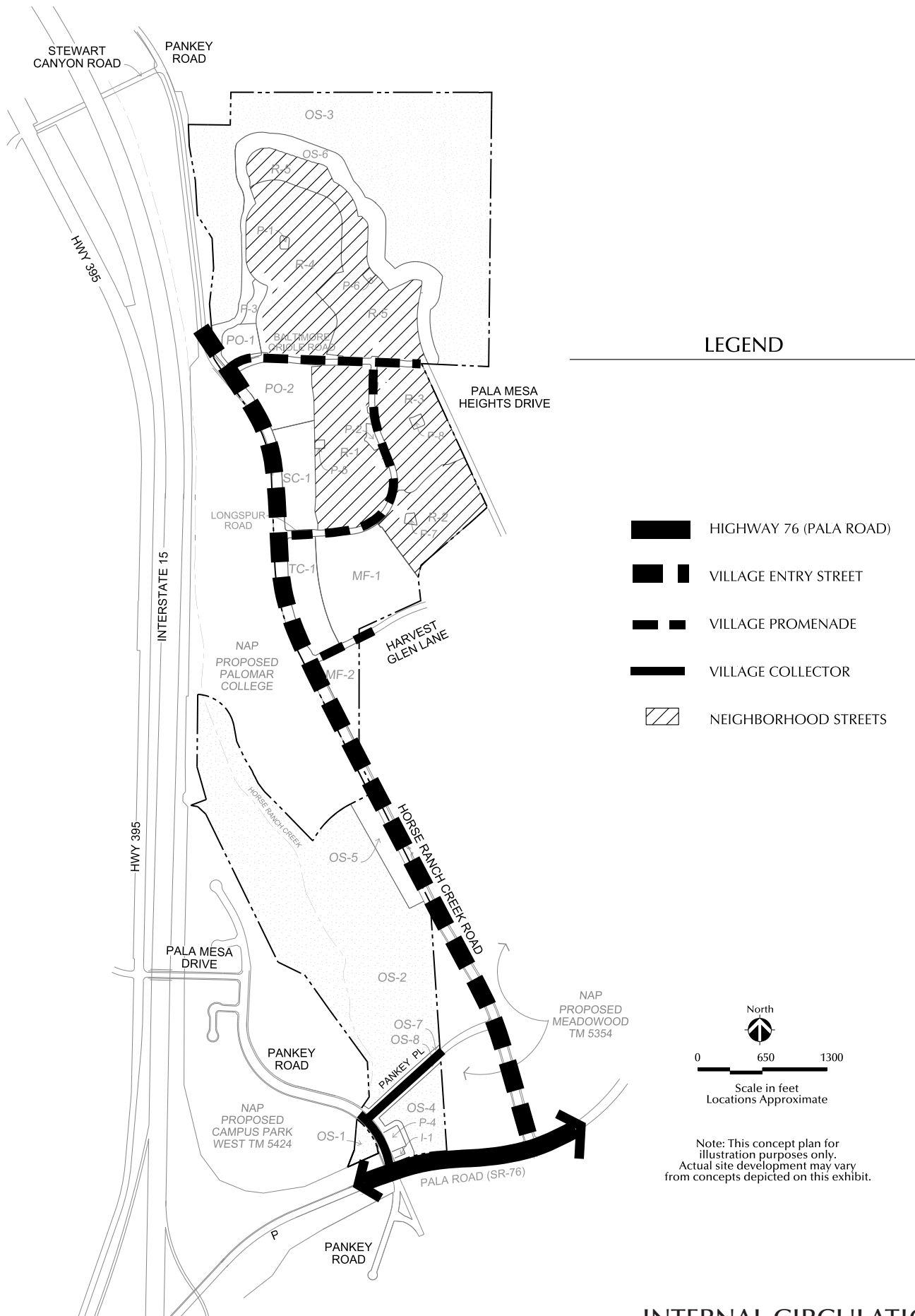
Source: Helix Environmental

EXISTING CIRCULATION ELEMENT

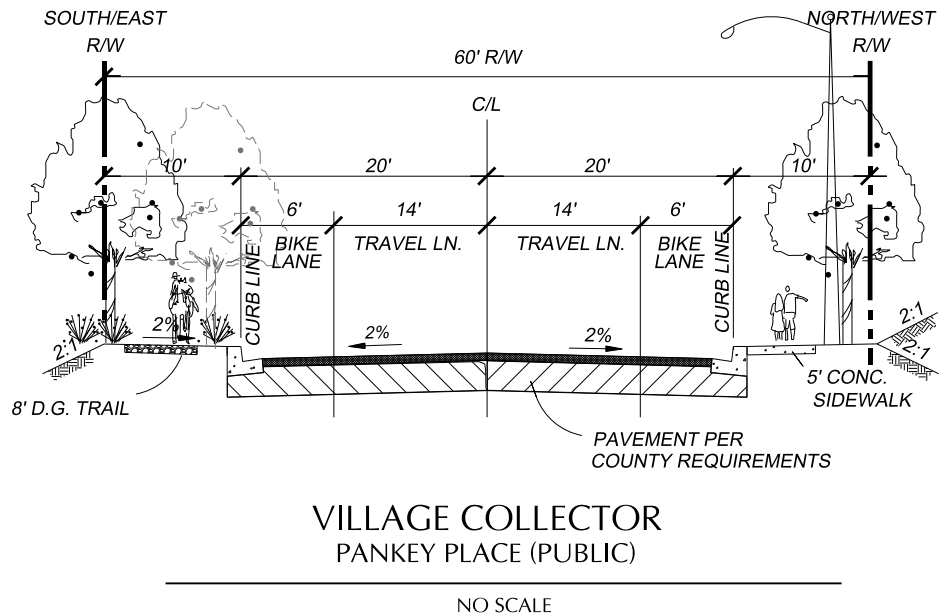
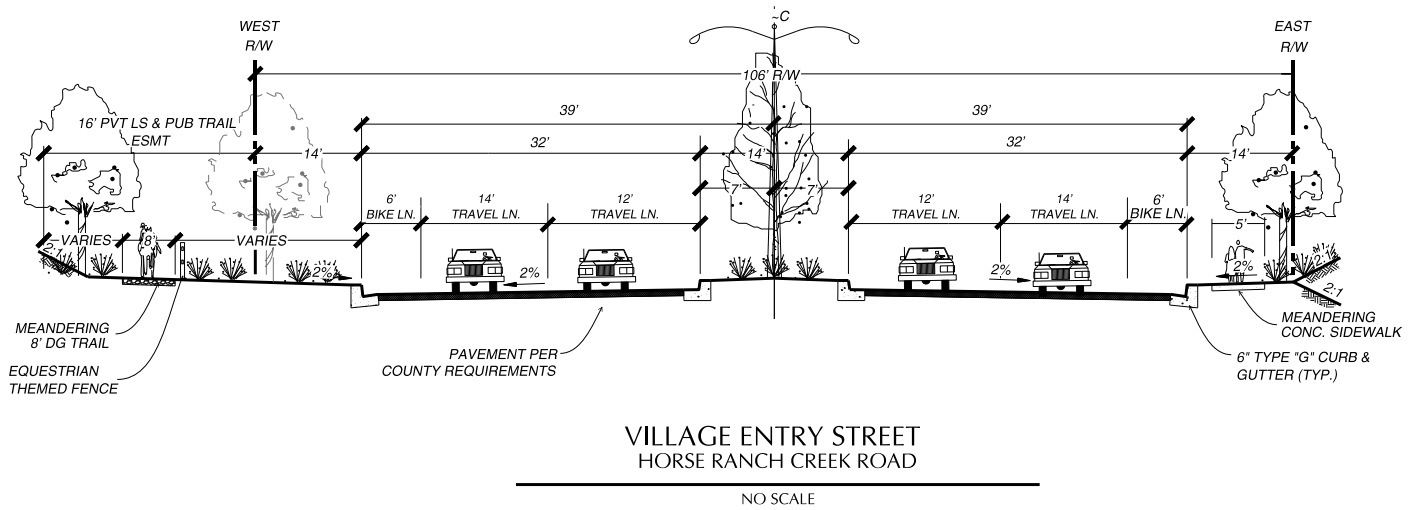


Source: Helix Environmental

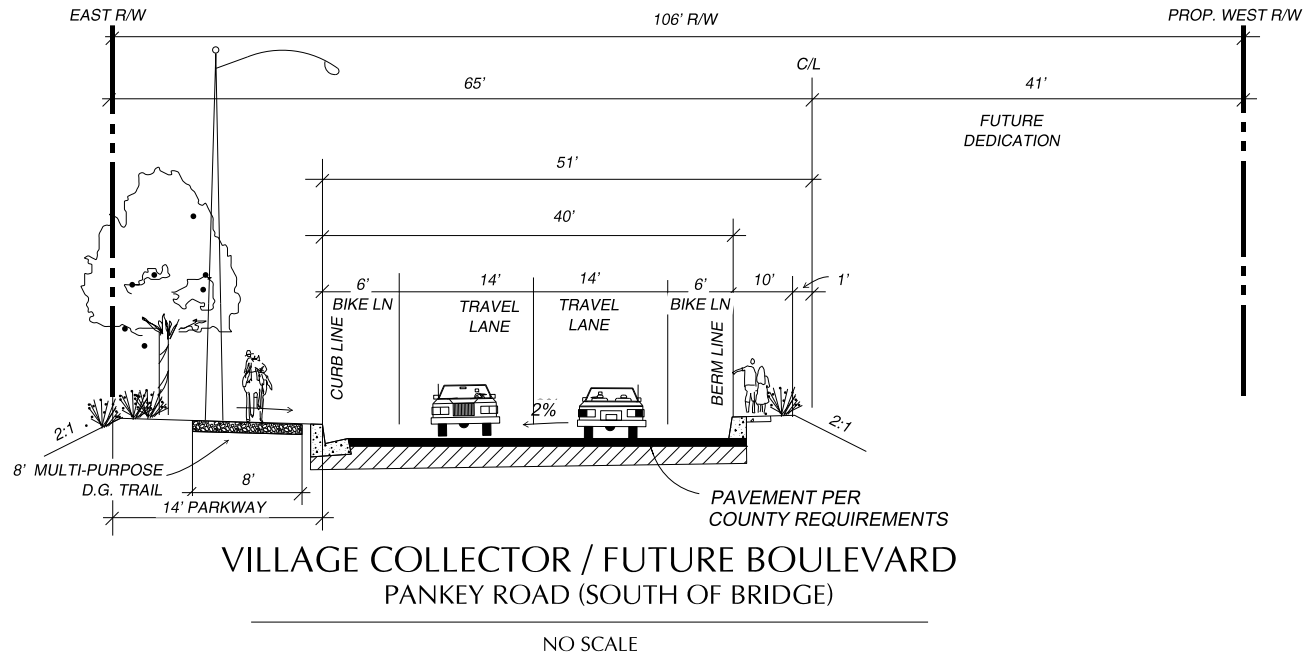
PROPOSED CIRCULATION ELEMENT



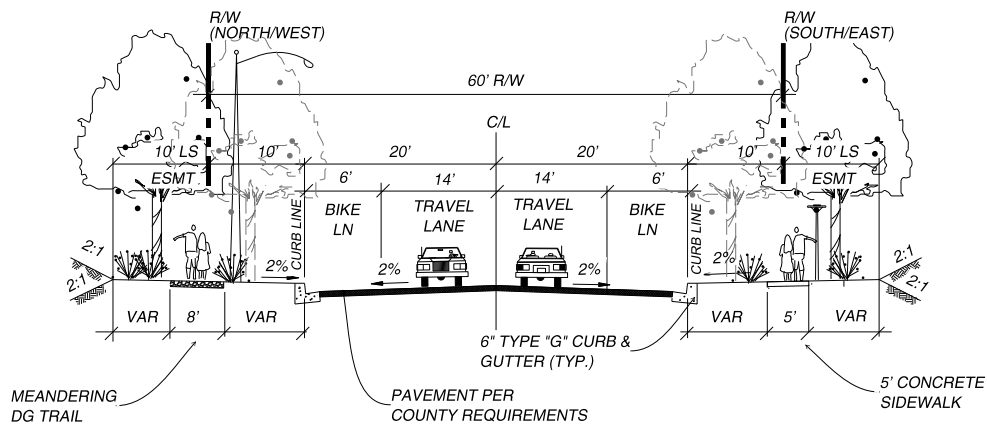
INTERNAL CIRCULATION



STREET SECTIONS

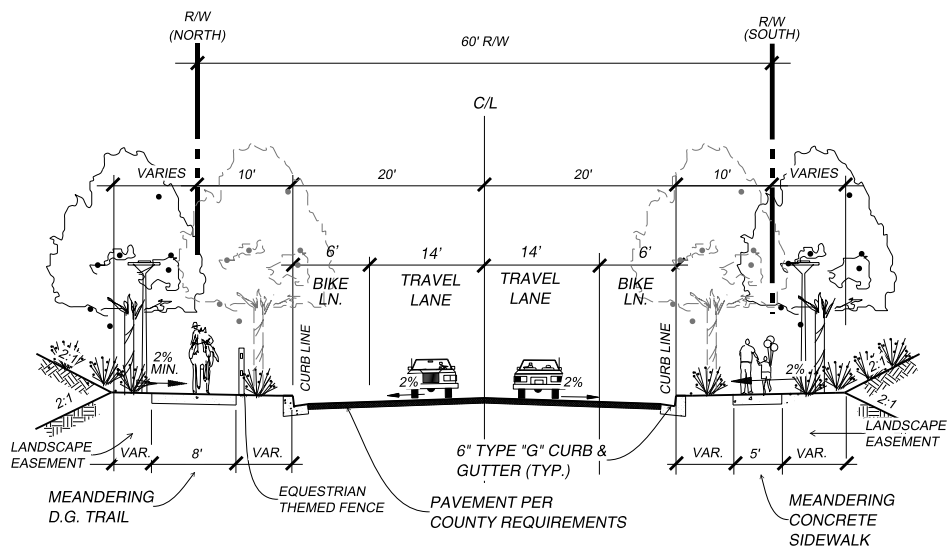


STREET SECTIONS



VILLAGE PROMENADE (LONGSPUR ROAD)

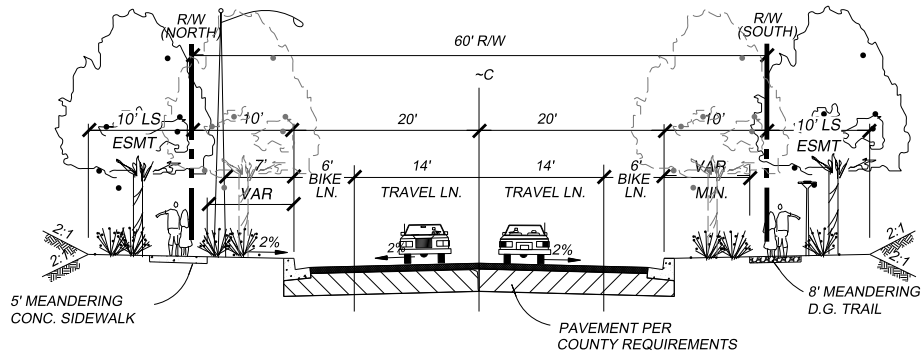
NO SCALE



VILLAGE PROMENADE (BALTIMORE ORIOLE ROAD)

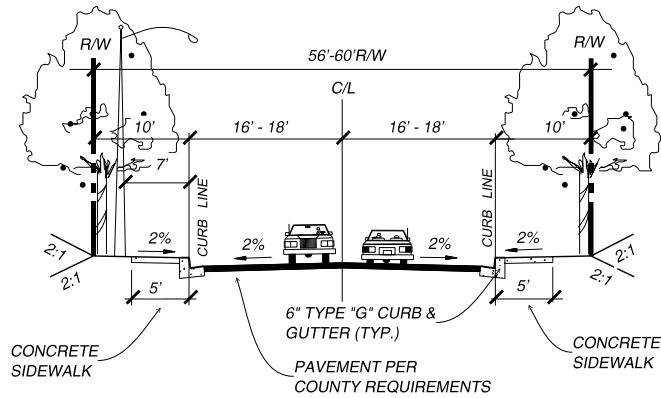
NO SCALE

STREET SECTIONS



VILLAGE PROMENADE (HARVEST GLEN LN.)

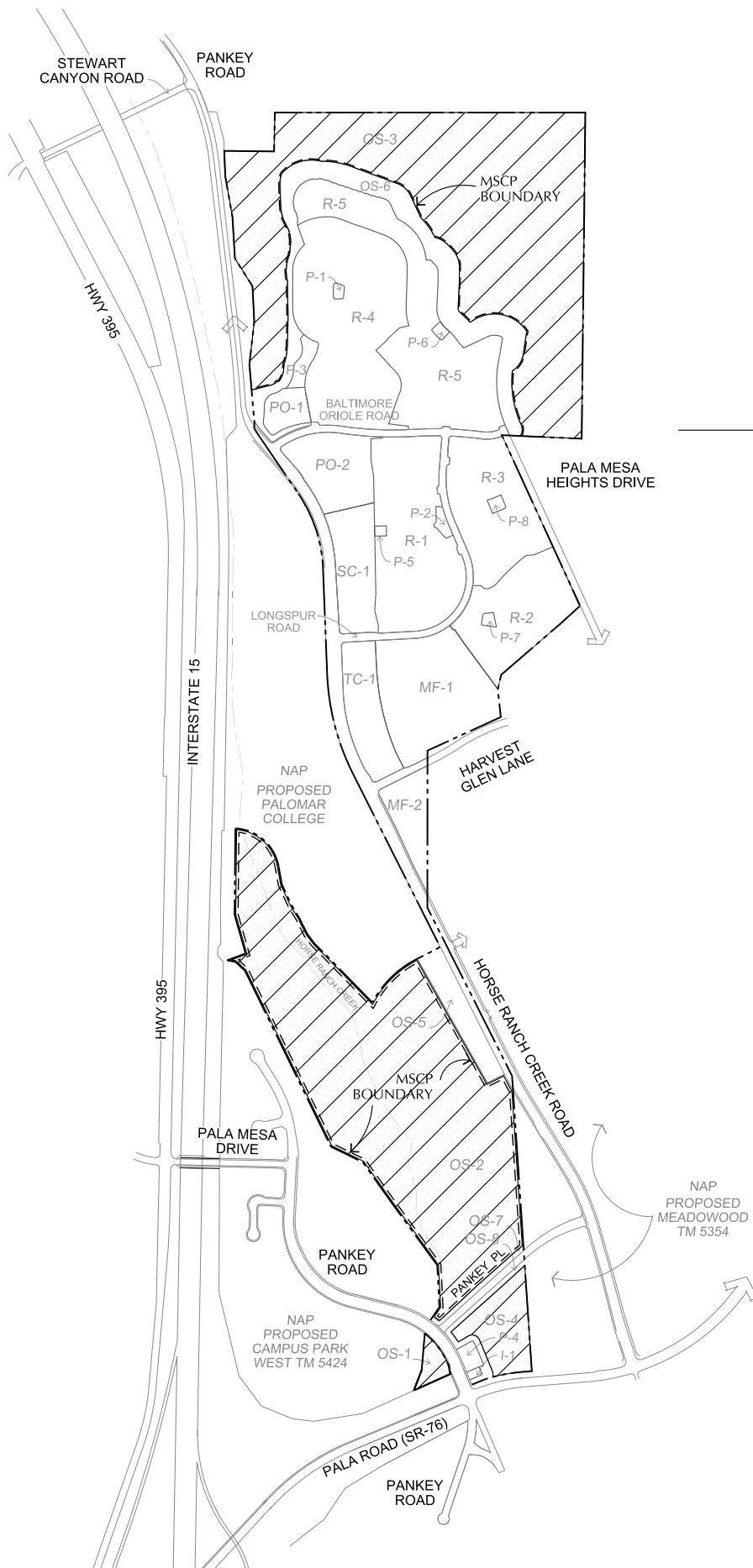
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
NEIGHBORHOOD STREETS (PUBLIC)

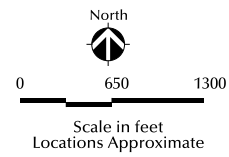
NO SCALE

STREET SECTIONS



LEGEND

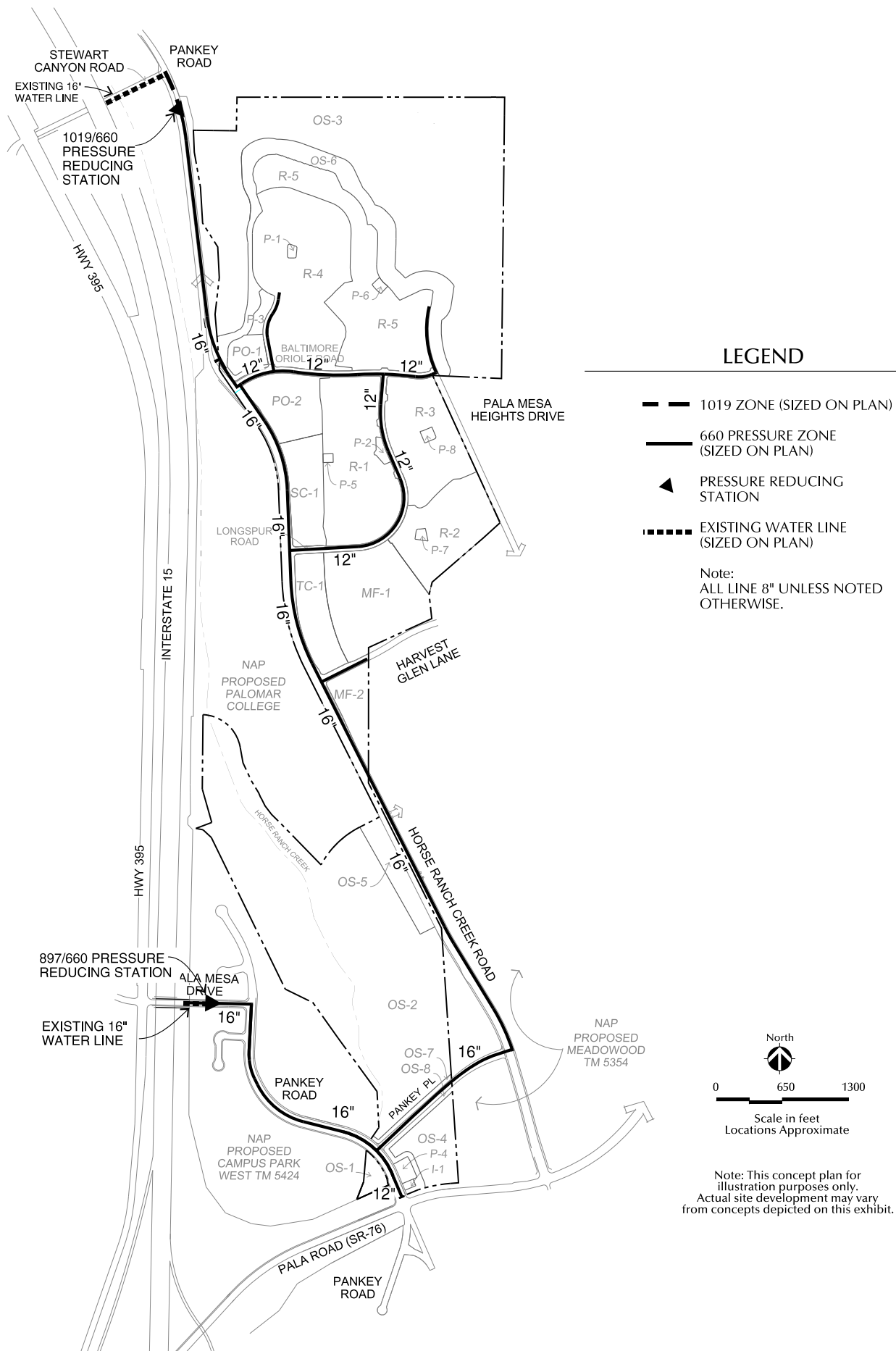
-  OPEN SPACE PRESERVE
-  MSCP BOUNDARY



OPEN SPACE PRESERVE

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

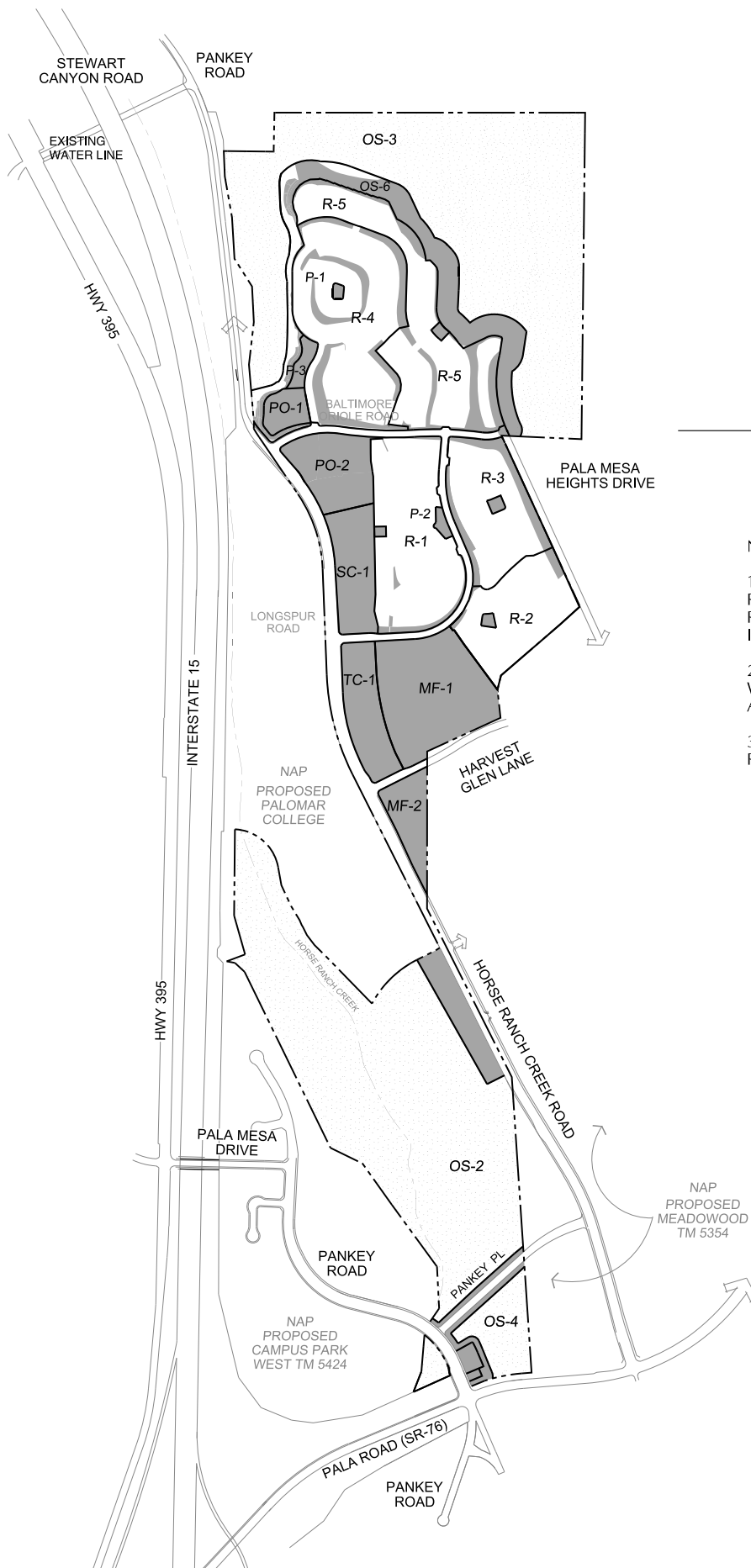
FIGURE 21



CONCEPTUAL WATER PLAN

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 22

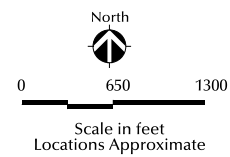


LEGEND

 POTENTIAL RECYCLED WATER USE AREA

NOTES:

1. IN ADDITION TO THE POTENTIAL RECYCLED WATER USE AREAS SHOWN, RECYCLED WATER WILL BE USED FOR THE IRRIGATION OF PARKWAY LANDSCAPING.
2. RECYCLED WATER SHALL NOT BE USED WHERE FOOD IS CONSUMED OR SOLD. THESE AREAS SHALL BE DUAL PLUMBED.
3. PALOMAR COLLEGE HAS POTENTIAL USE OF RECLAIMED WATER.

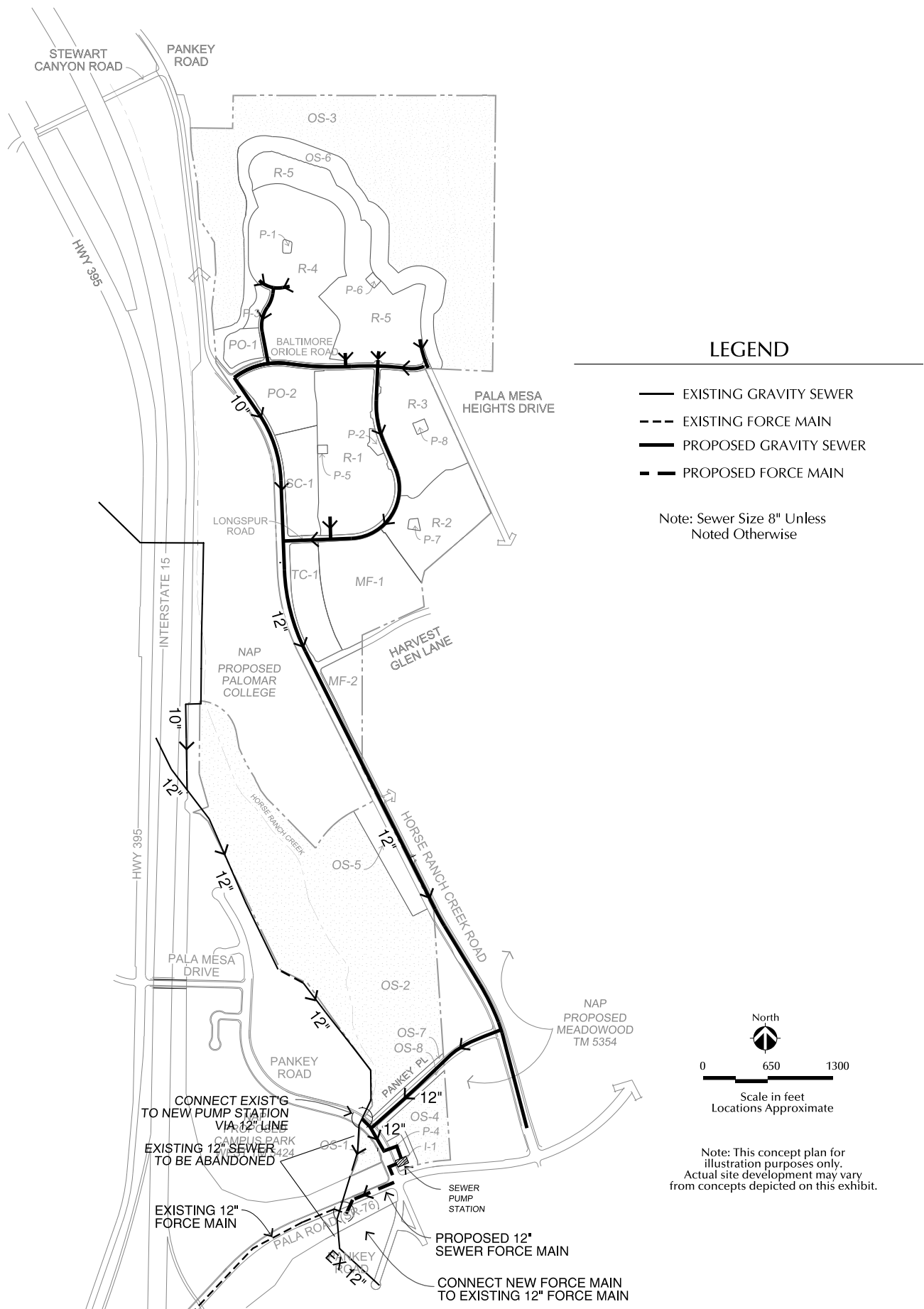


Note: This concept plan for illustration purposes only. Actual site development may vary from concepts depicted on this exhibit.

RECLAIMED WATER PLAN

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

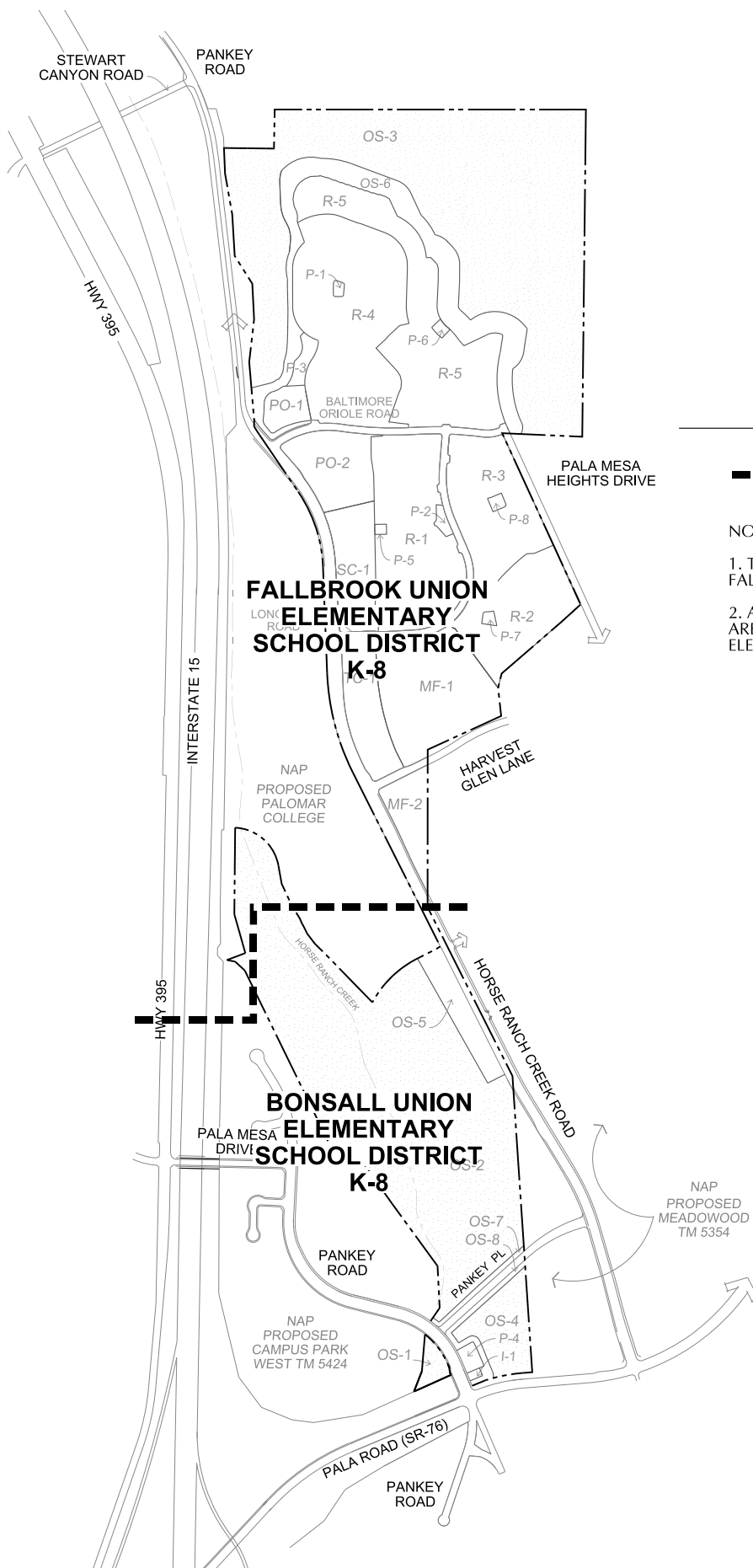
FIGURE 23



CONCEPTUAL SEWER PLAN

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 24

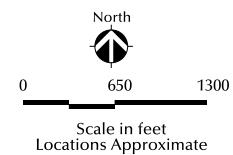


LEGEND

--- SCHOOL DISTRICT BOUNDARY

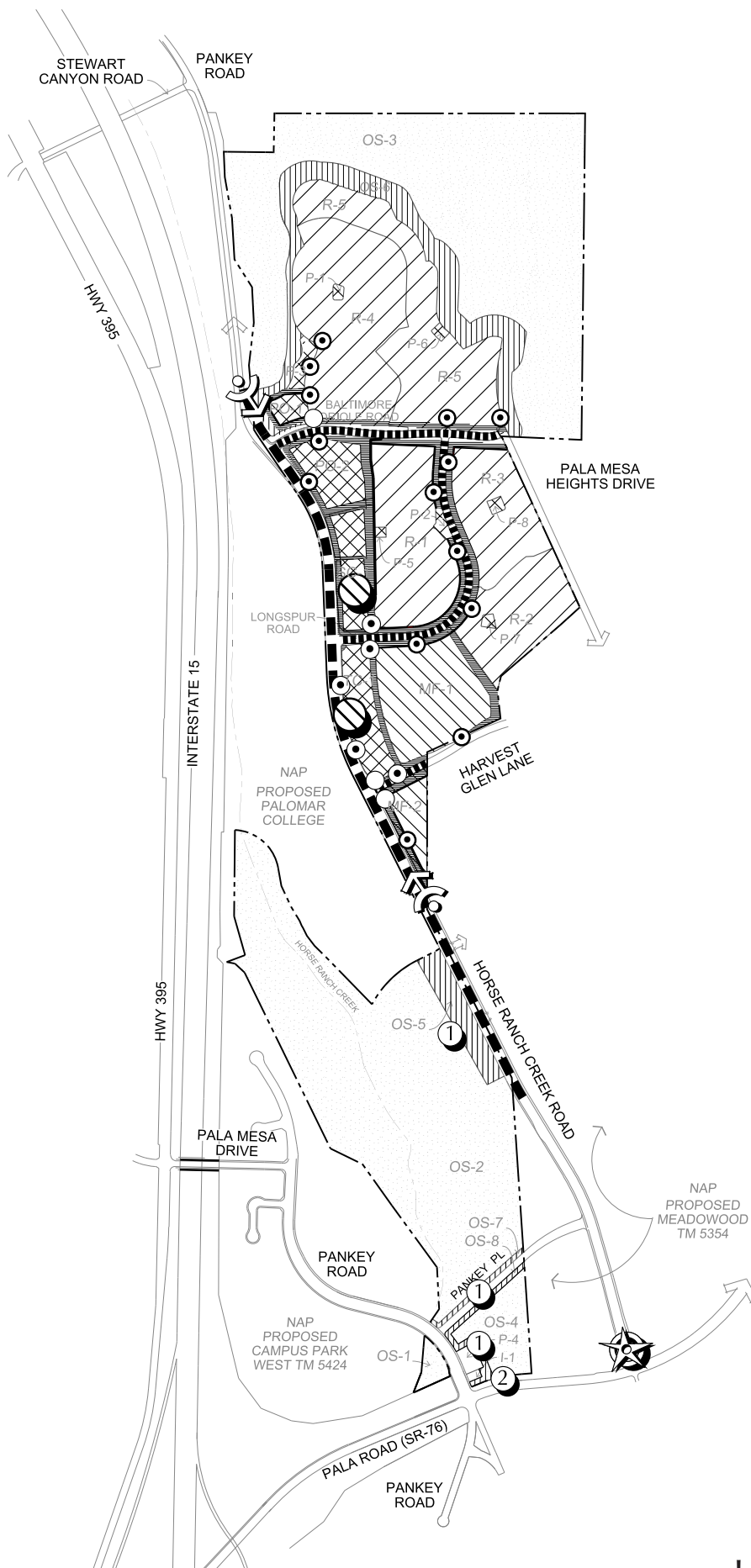
NOTES:

1. THE ENTIRE SITE IS WITHIN THE FALLBROOK UNION HIGH SCHOOL DISTRICT
2. ALL RESIDENTIAL PORTIONS OF PROJECT ARE WITHIN THE FALLBROOK UNION ELEMENTARY SCHOOL DISTRICT



SCHOOL DISTRICT BOUNDARY

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

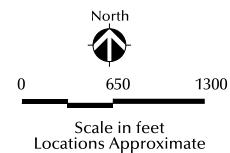


LEGEND

- COMMUNITY ENTRY ROAD LANDSCAPE
(Horse Ranch Creek Road, Portion of Pala Mesa Road, and Pankey Road)
- COMMUNITY PROMENADE LANDSCAPE
(Baltimore Oriole Road, Larkspur Road & Harvest Glen Lane)
- ▨ SINGLE FAMILY RESIDENTIAL LANDSCAPE
- ▧ MULTI-FAMILY LANDSCAPE ZONE
- ▩ SPECIAL USE LANDSCAPE ZONE
- LANDSCAPE BUFFER/SCREENING ZONE
- NATURAL OPEN SPACE
- ▨ NATURE / NATURALIZING LANDSCAPE ZONE
- ① RIPARIAN EDGE ZONE
- ② HWY 76 LANDSCAPE ZONE
- COMMUNITY ENTRY LANDSCAPE
- ✦ PRIMARY "SHARED" COMMUNITY ENTRY
(SEE MEADOWOOD T.M. 5354)
- ➡ PRIMARY PROJECT ENTRY
- ⊙ PLANNING AREA GATEWAY/ENTRY
- ACCENT PLANTINGS / MONUMENT
- ⊙ PROJECT FOCAL POINT
(Architecture & Landscape)

NOTE:

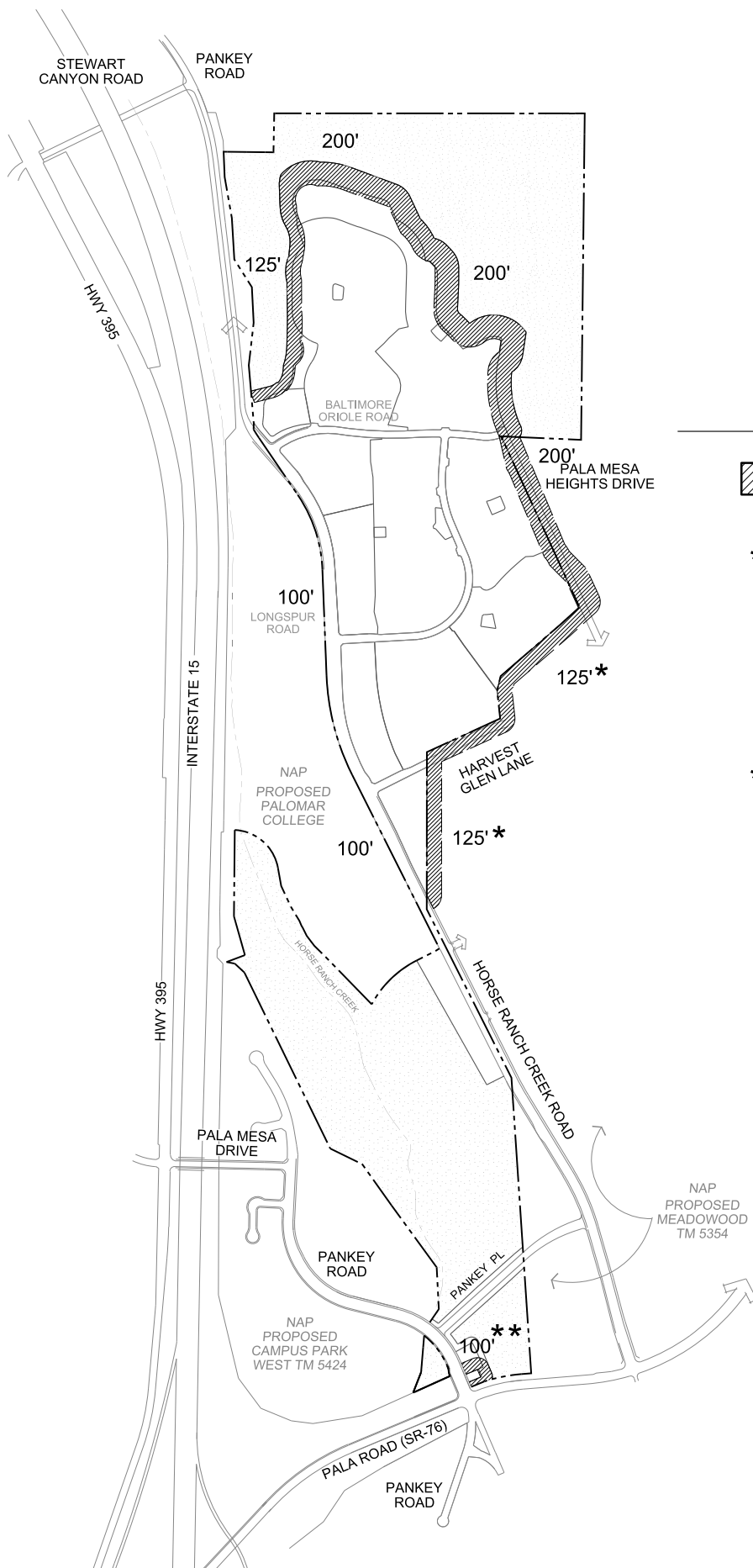
Landscaping shall comply with approved Fire Protection Plan / Vegetation Management Plan for Campus Park prepared by Hunt Research Corporation.



Note: This concept plan for illustration purposes only. Actual site development may vary from concepts depicted on this exhibit.

LANDSCAPE CONCEPT PLAN

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT



LEGEND



Perimeter Fuel Management Zones - Measured from Structure (size indicated by location)

*

125' Unless adjacent development has abutting Off-Site Fuel Modification Zone

Note:

1. Roadside & internal lot Fuel Modification Zones not shown. See plan for details.

2. This plan is a conceptual depiction of Fuel Management areas and subject to change.

**

3. Fuel Modification area abutting Hwy 76 reduced to 45'.



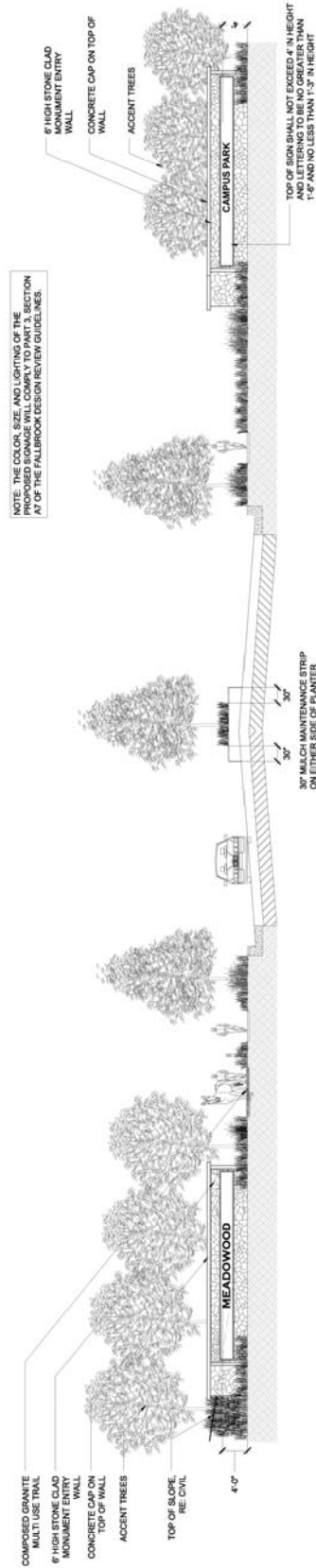
0 650 1300

Scale in feet
Locations Approximate

FIRE PROTECTION PLAN

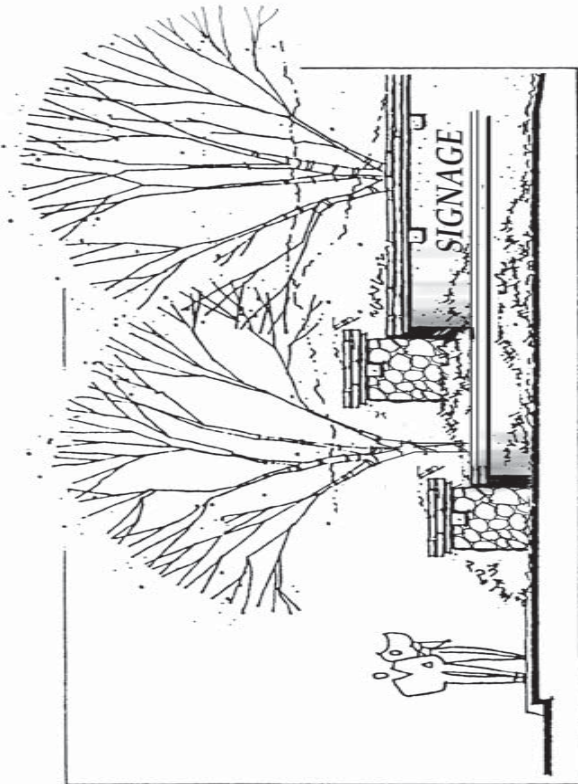
CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 27



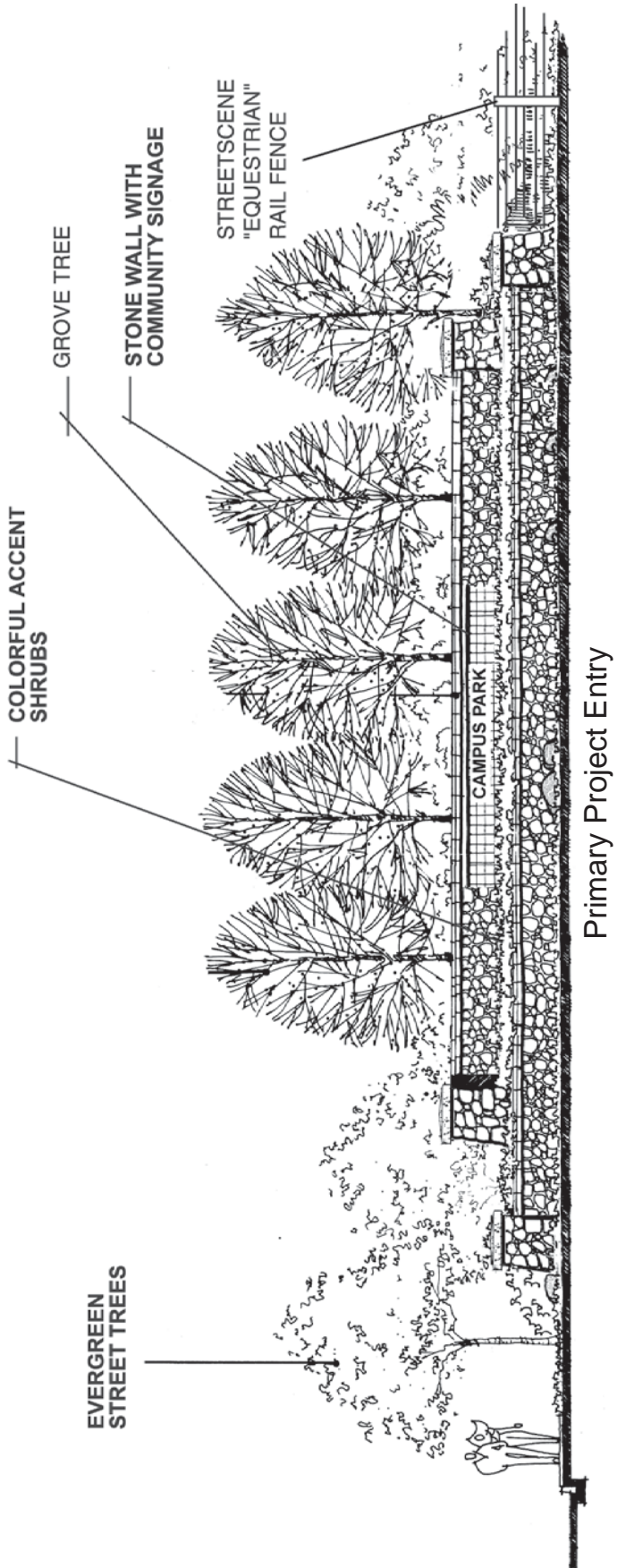
Source:
Meadowood Specific Plan

PRIMARY CAMPUS PARK ENTRY (SHARED W/ MEADOWOOD)



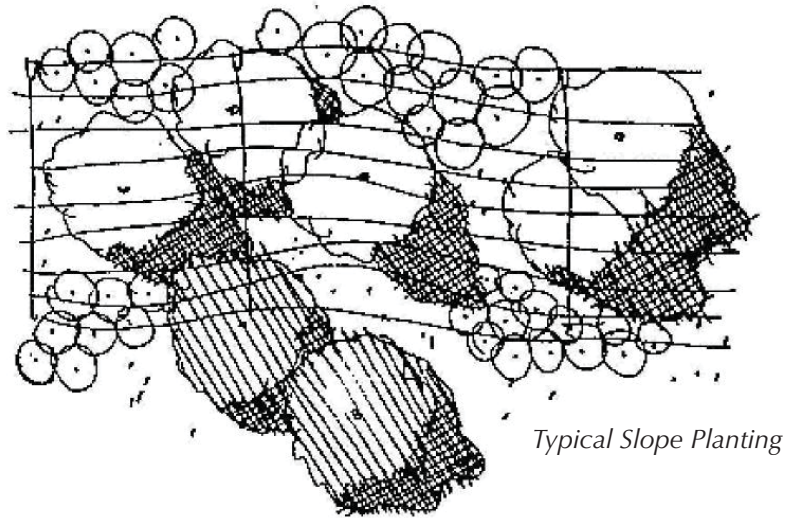
Planning Area / Gateway Entry

Note: This concept plan for illustration purposes only. Actual site development may vary from concepts depicted on this exhibit.



Primary Project Entry

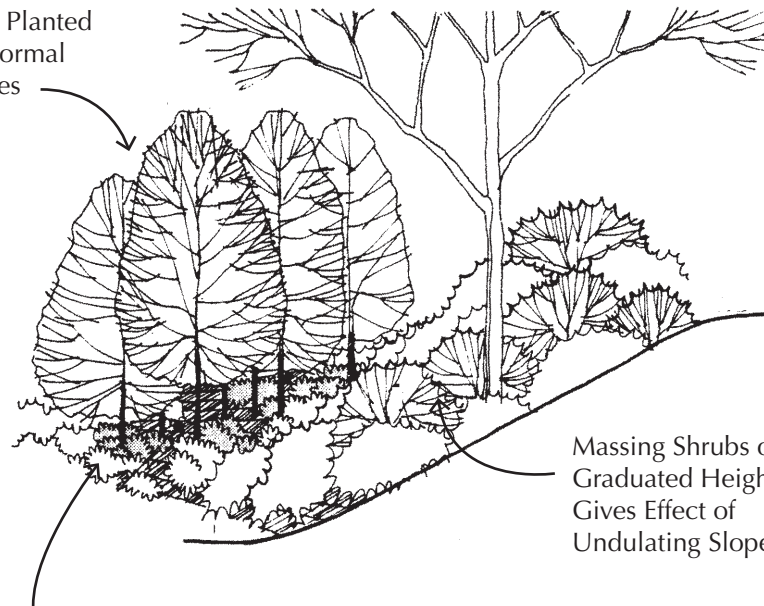
ENTRY MONUMENTS



Typical Slope Planting

Continue Shrubs and Groundcover
Beyond the Limits of Slope
Where Possible to Soften Edges

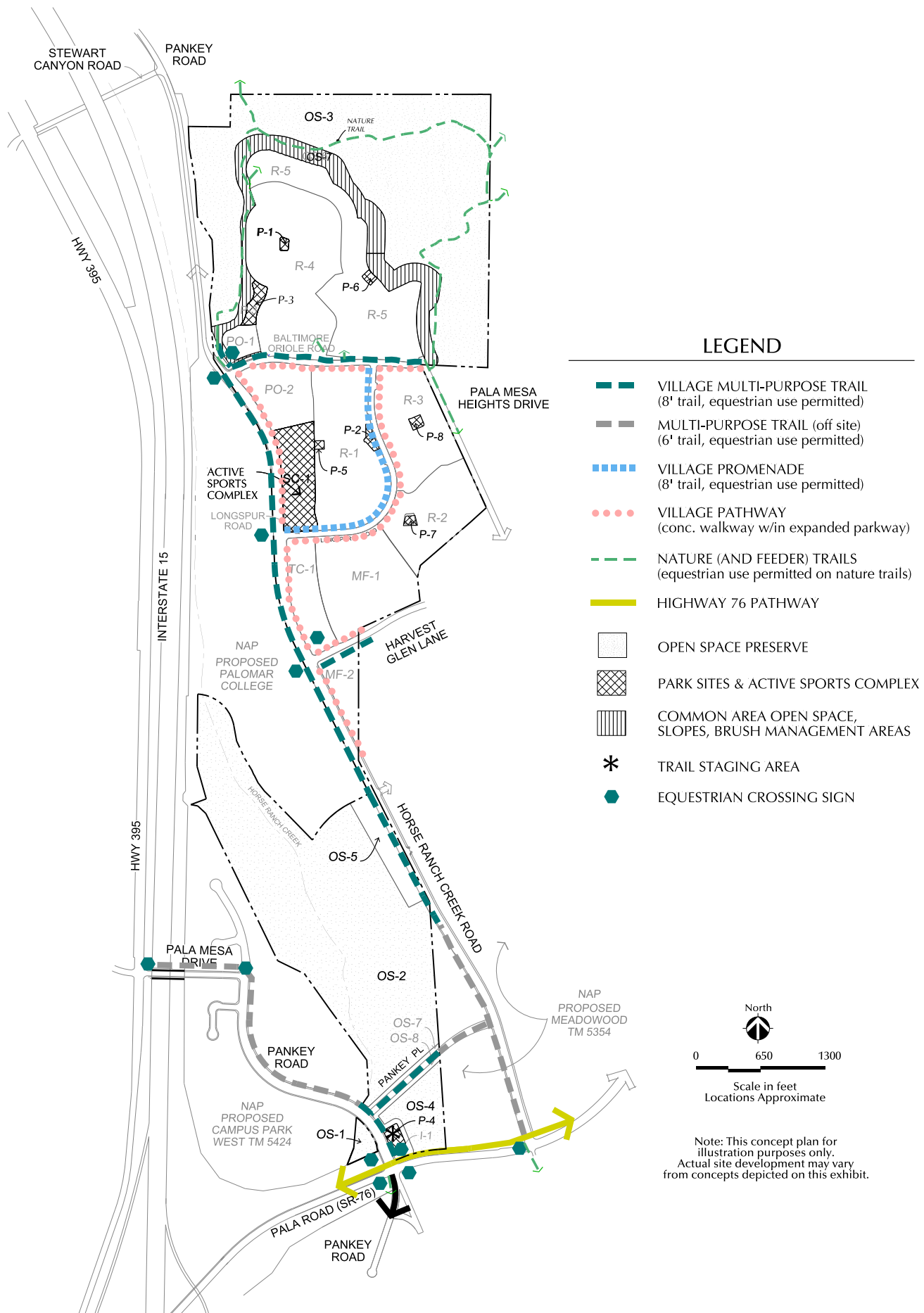
Trees Planted
in Informal
Groves



Massing Shrubs of
Graduated Heights
Gives Effect of
Undulating Slope Ratio

Low Shrubs and Groundcover
Planted Amongst Trees -
Simulates Swale Area

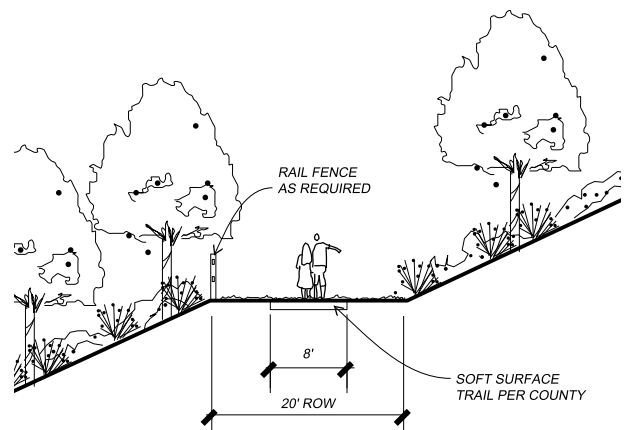
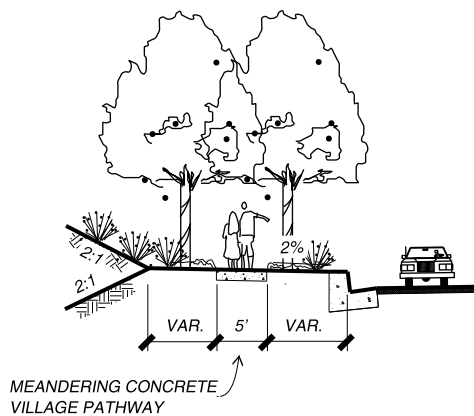
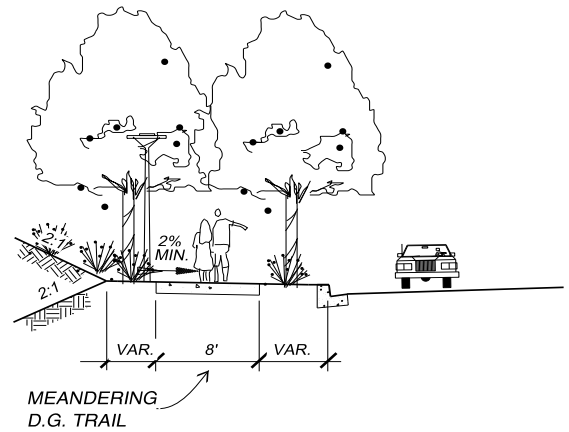
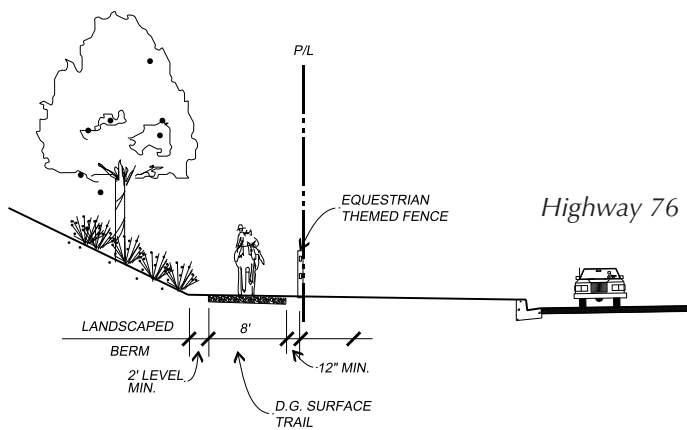
LANDSCAPE CONCEPT MANUFACTURED SLOPES



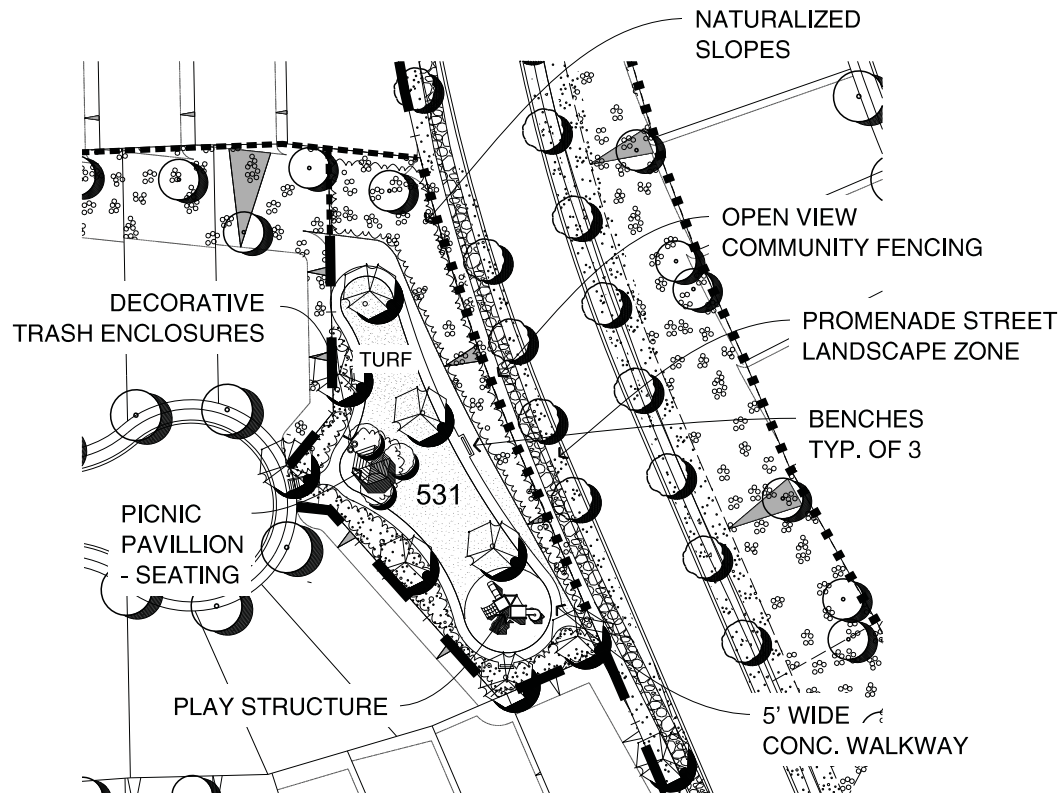
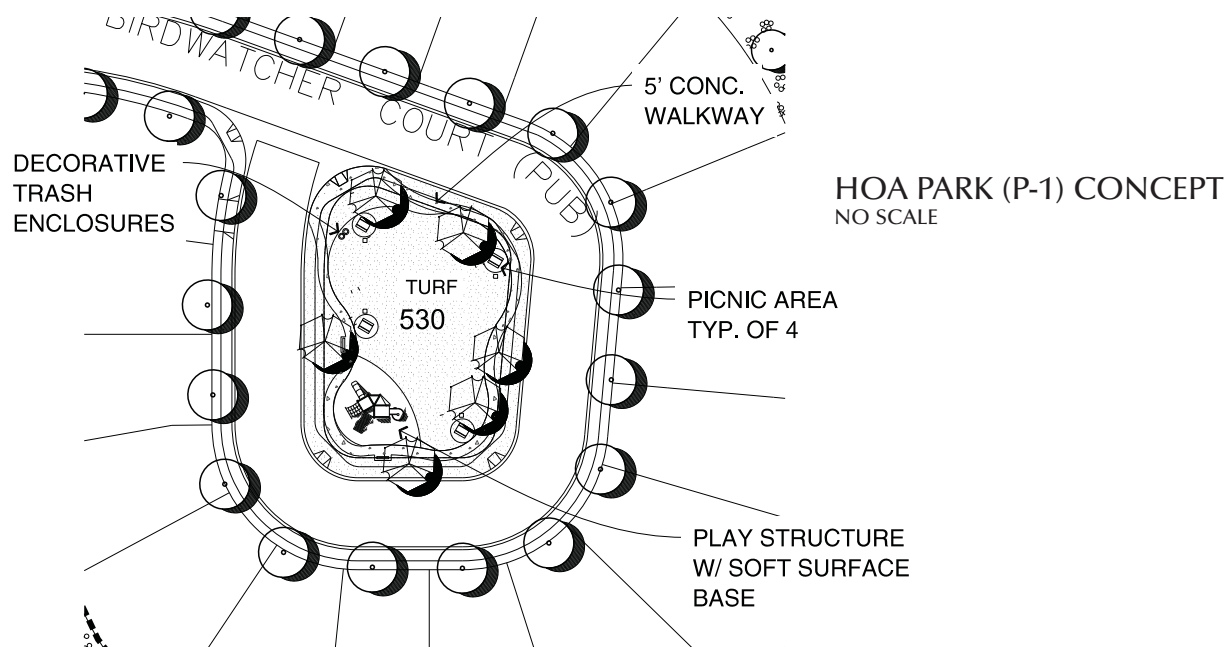
OPEN SPACE, PARKS & TRAILS PLAN

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 31



* MAY GO TO 4' WHERE TOPOGRAPHIC
AND OR BIOLOGICAL CONSTRAINTS EXIST



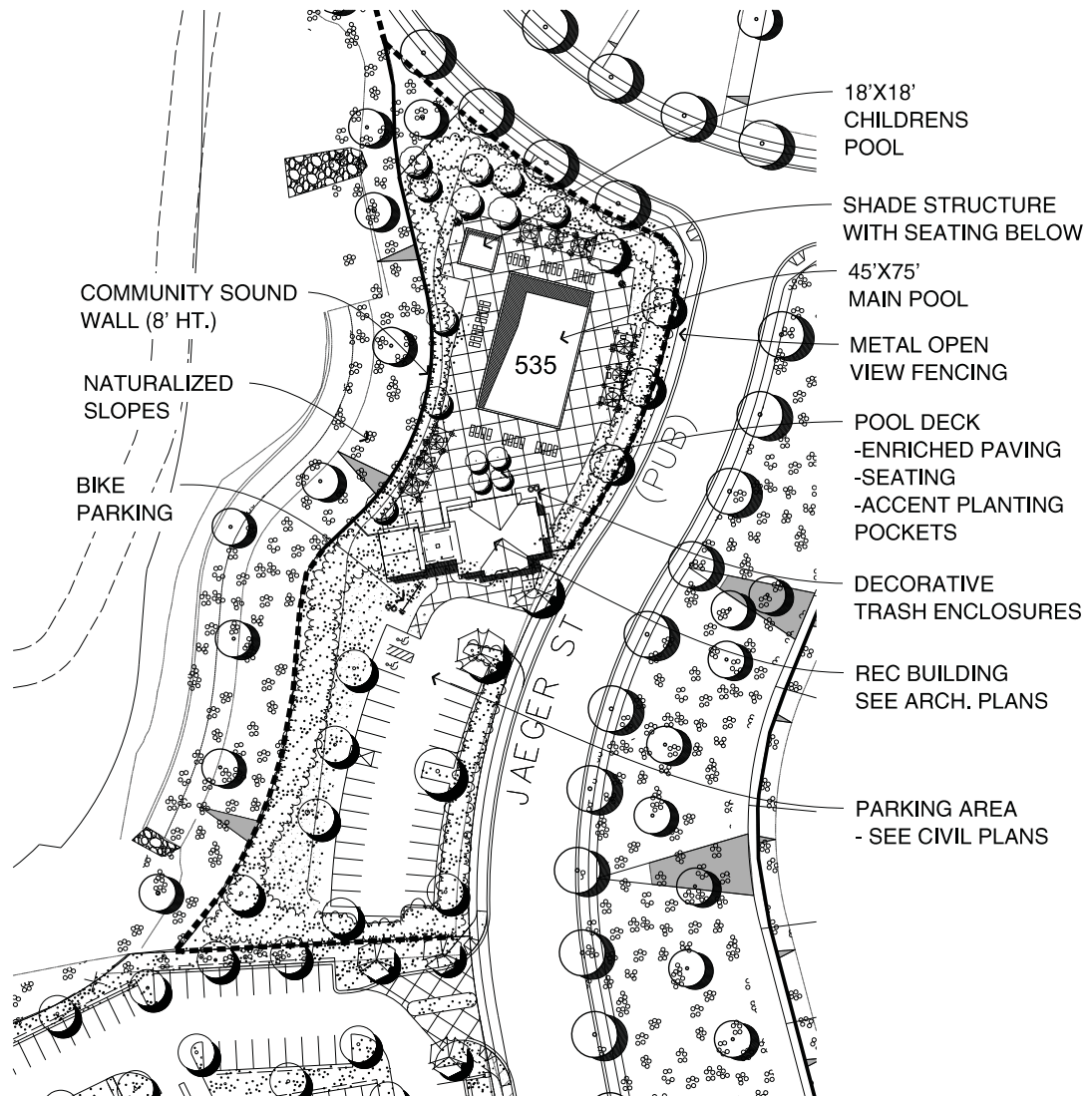
HOA PARK (P-2) CONCEPT NO SCALE

NOTE:
 SYNTHETIC TURF MAY BE USED AS A WATER
 CONSERVING MEASURE IF RECLAIMED WATER
 IS NOT AVAILABLE.

HOA PARK (P1 & P-2) CONCEPTS

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 33

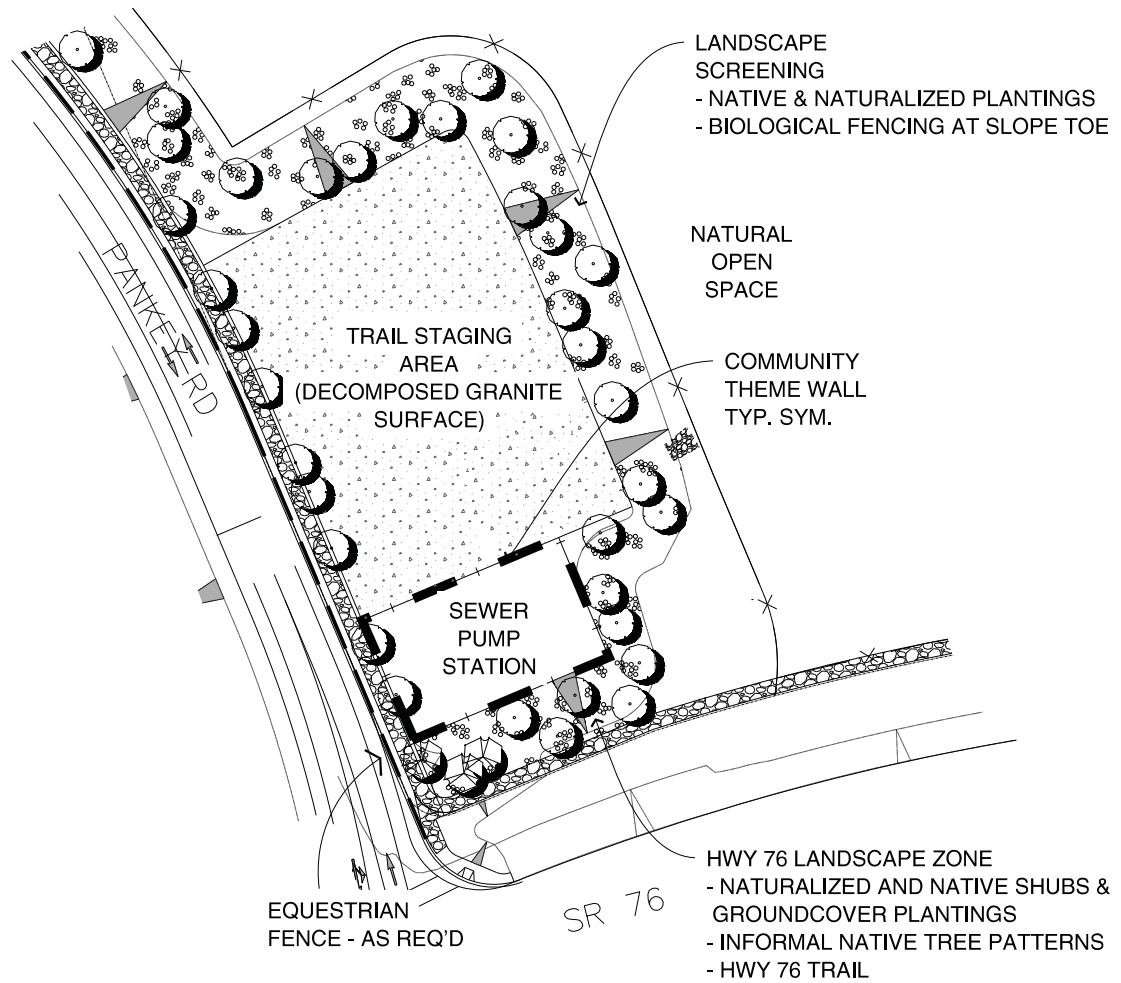


NOTE:
SYNTHETIC TURF MAY BE USED AS A WATER
CONSERVING MEASURE IF RECLAIMED WATER
IS NOT AVAILABLE.

HOA COMMUNITY RECREATION CENTER (P-3) CONCEPT

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 34

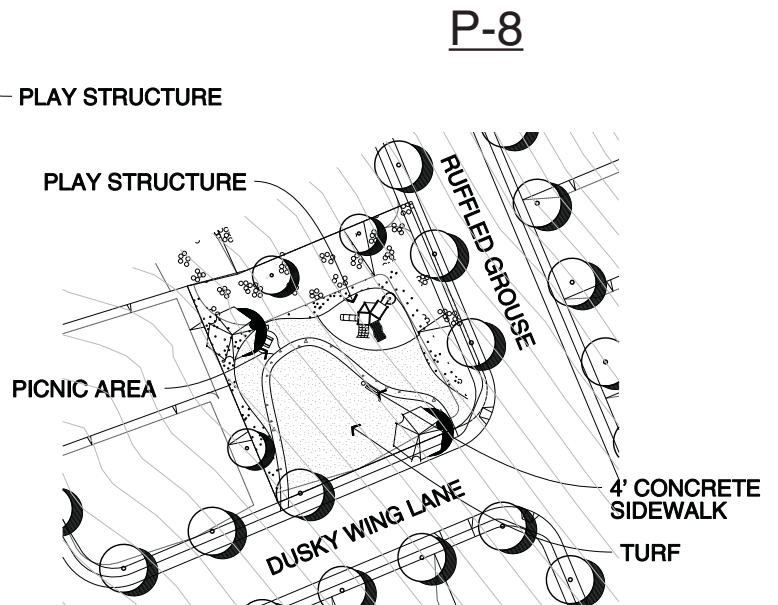
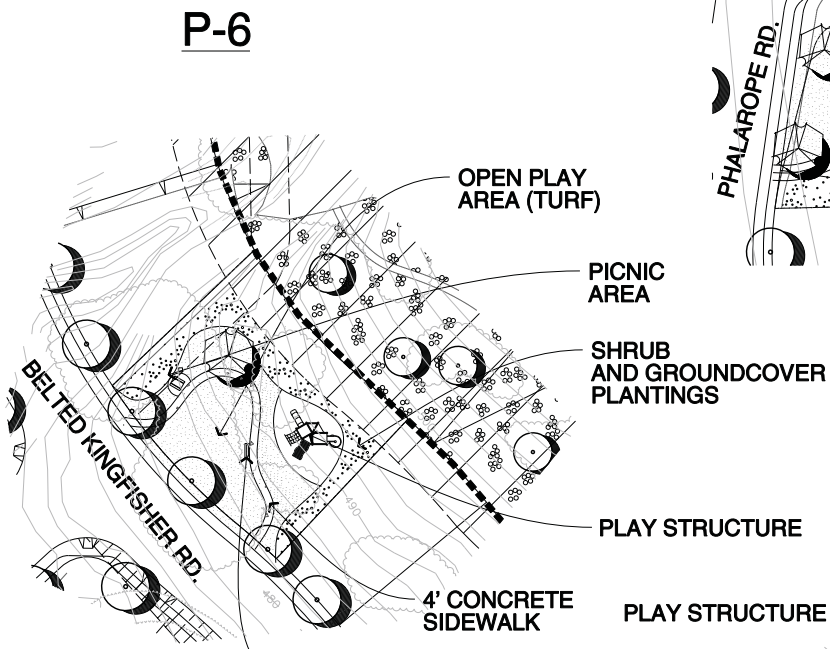
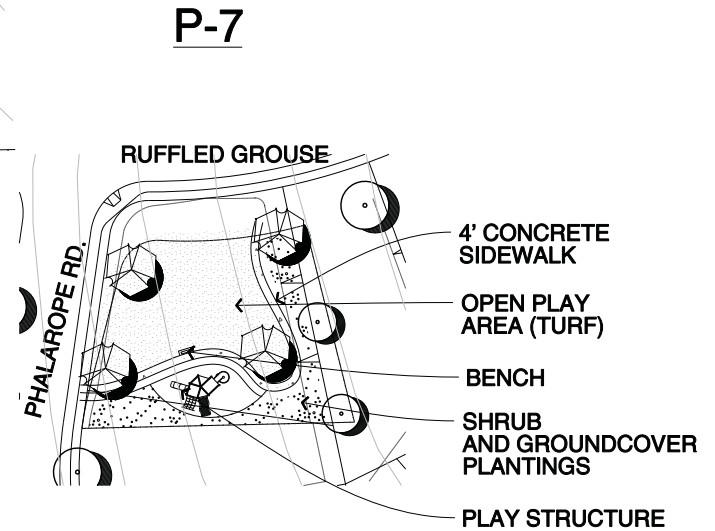
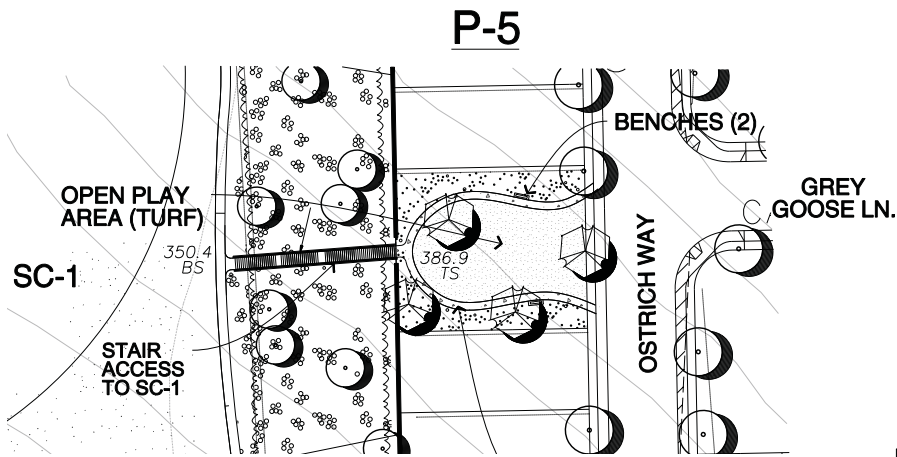


P-4

TRAIL STAGING AREA (P-4) CONCEPT

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

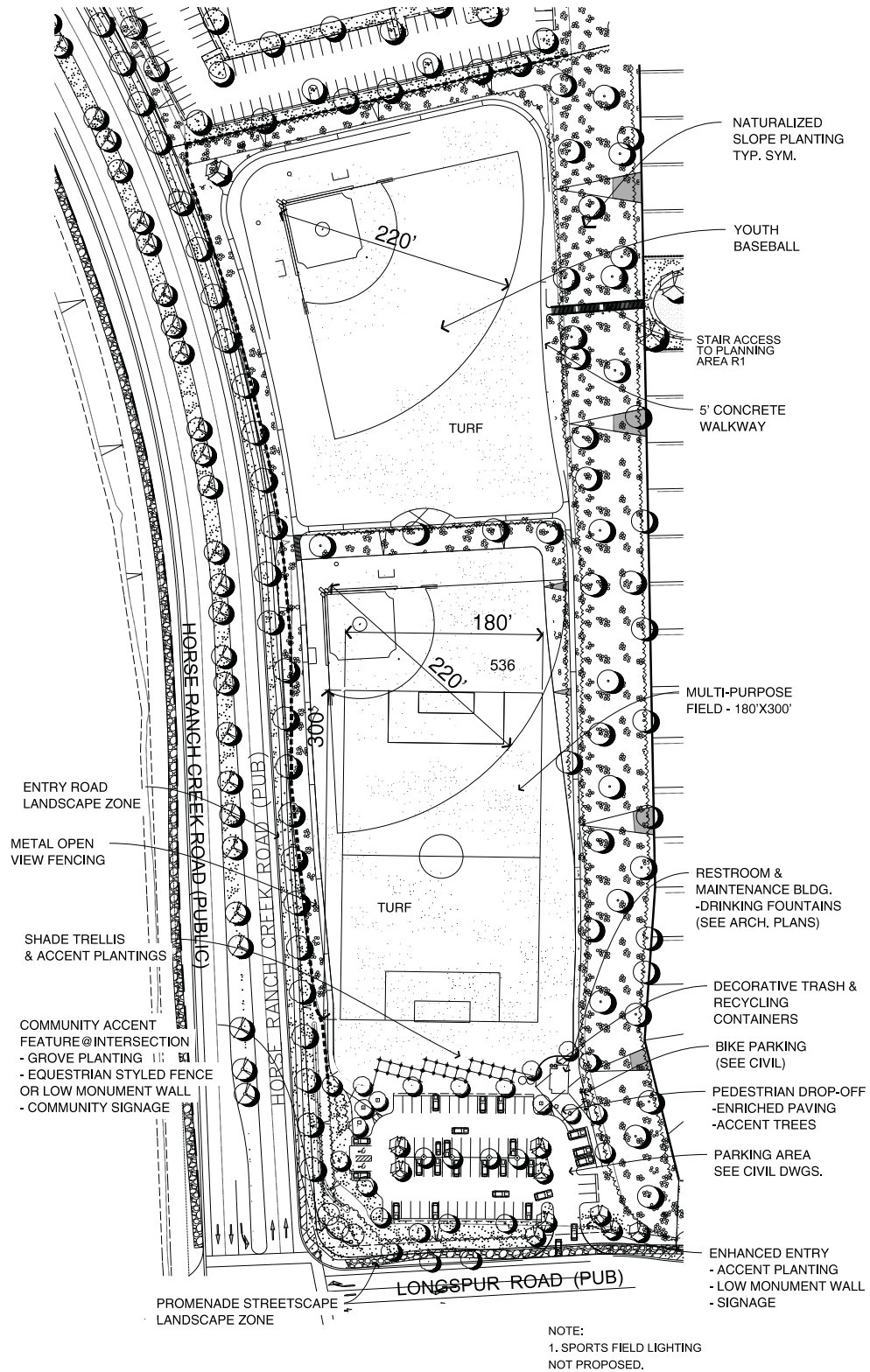
FIGURE 35



HOA PARK (P5 - P8) CONCEPTS

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

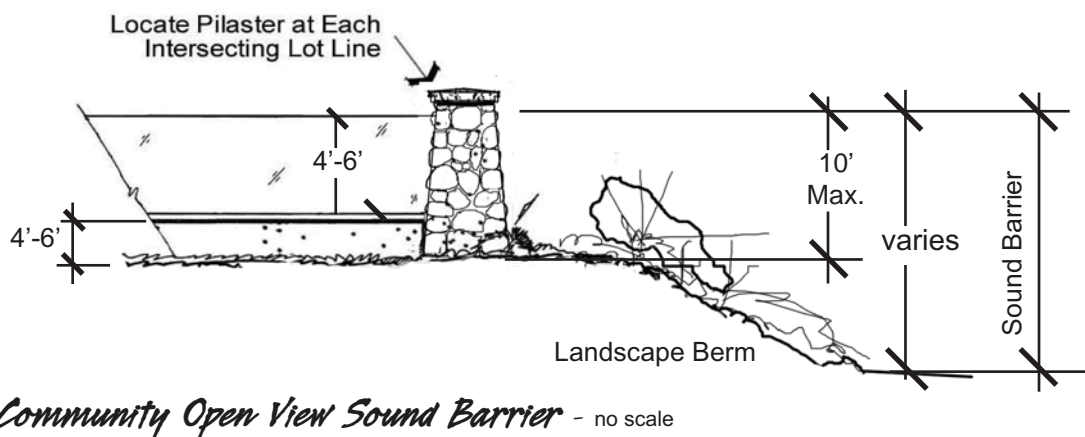
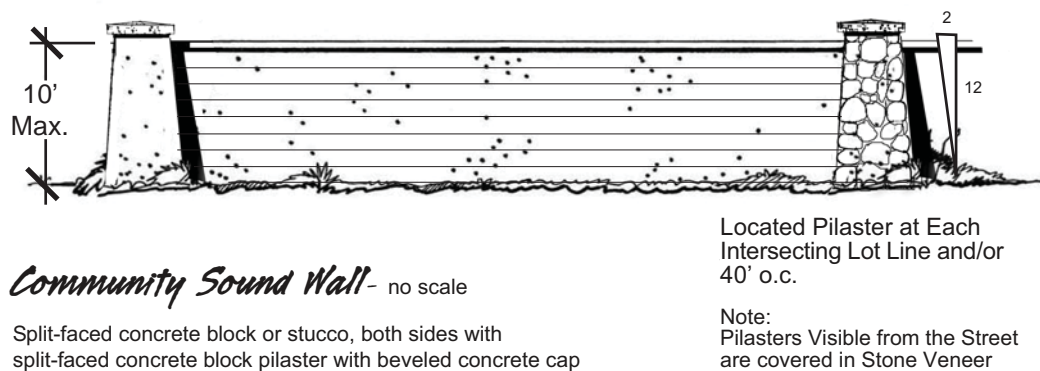
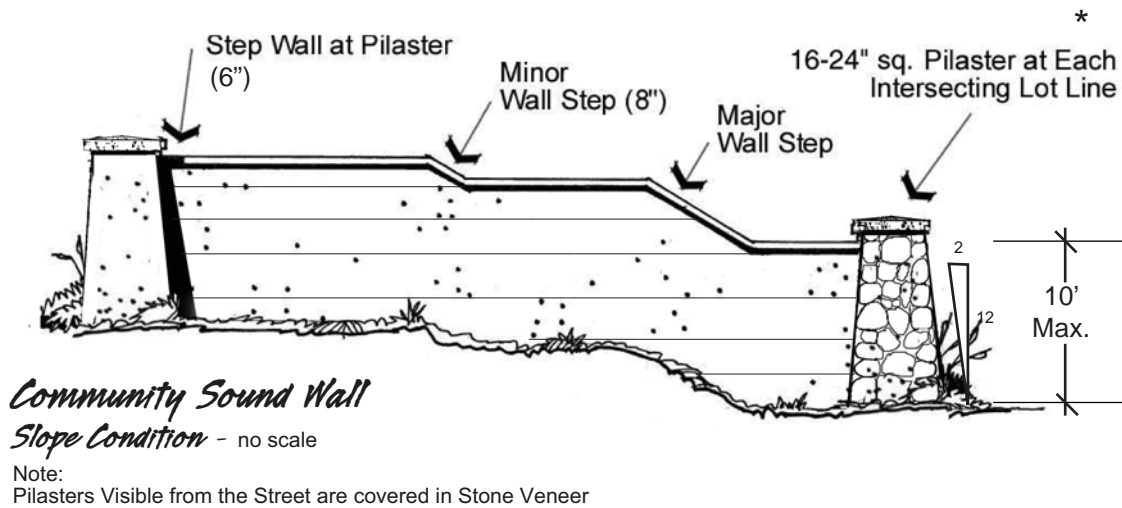
FIGURE 36



NOTE:
SYNTHETIC TURF MAY BE USED AS A WATER
CONSERVING MEASURE IF RECLAIMED WATER
IS NOT AVAILABLE.

ACTIVE SPORTS PARK (SC-1) CONCEPT

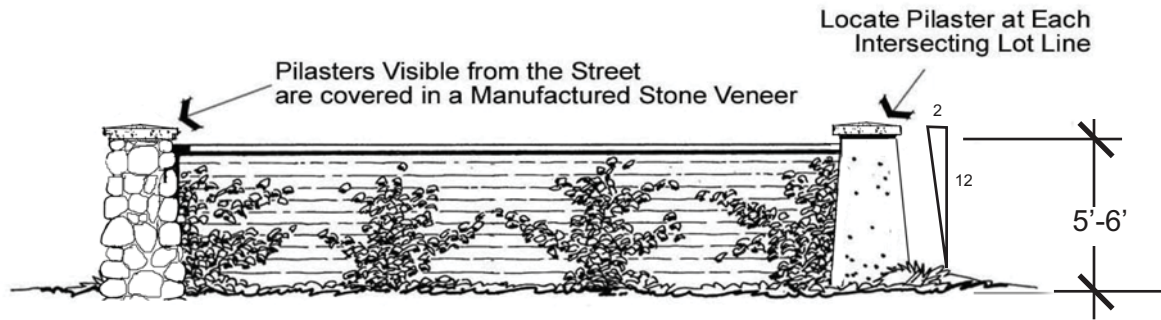
CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT



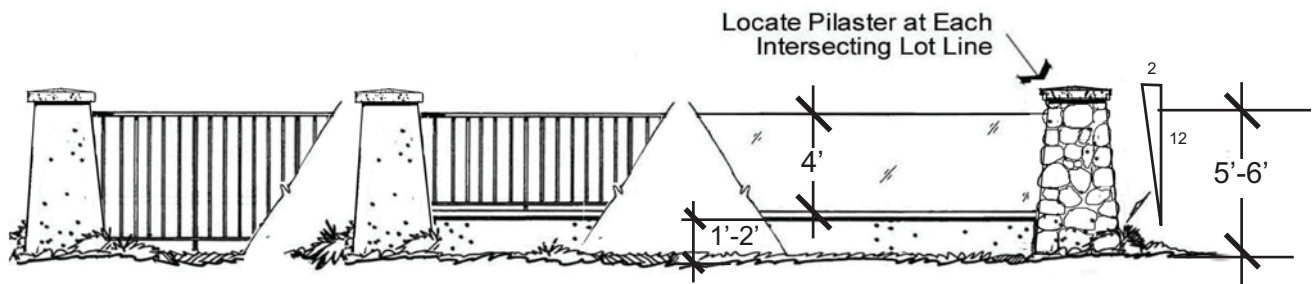
Clear non-glare "Lexon" type panel with stucco or stone veneer pilaster and split-faced block low wall, both sides.

Note: This concept plan for illustration purposes only. Actual site development may vary from concepts depicted on this exhibit.

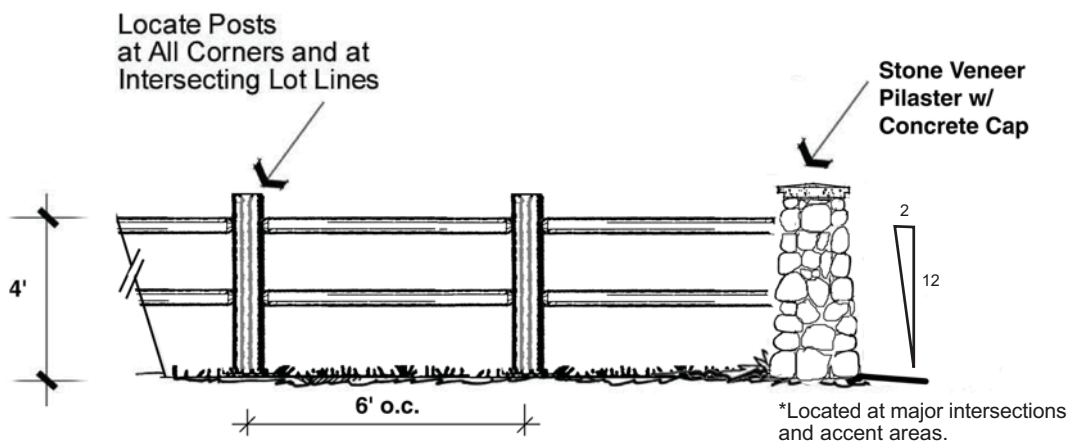
COMMUNITY SOUND WALLS/BARRIERS



Community Theme Wall - no scale
Split-faced concrete block, both sides, street side can be used as a vegetative anchor. Stone veneer or stucco pilaster with beveled concrete cap



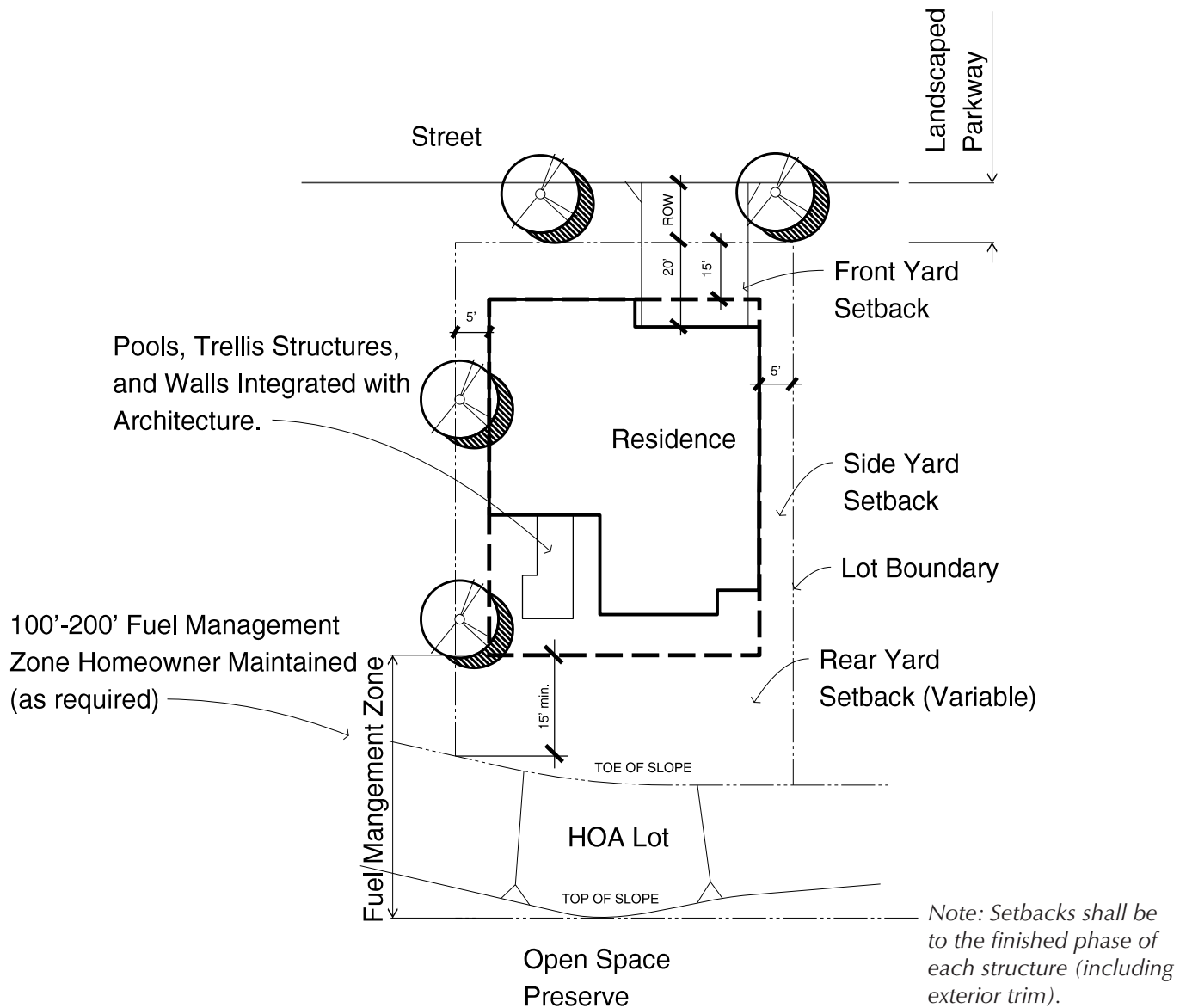
Open Theme View Barrier - no scale
Wrought iron fence, or clear non-glare "Lexon" type panel with stucco or stone veneer pilaster and split-faced block low wall, both sides.



Rural "Equestrian Style" Theme Fence - no scale
Wood or approved alternative material

Note: This concept plan for illustration purposes only. Actual site development may vary from concepts depicted on this exhibit.

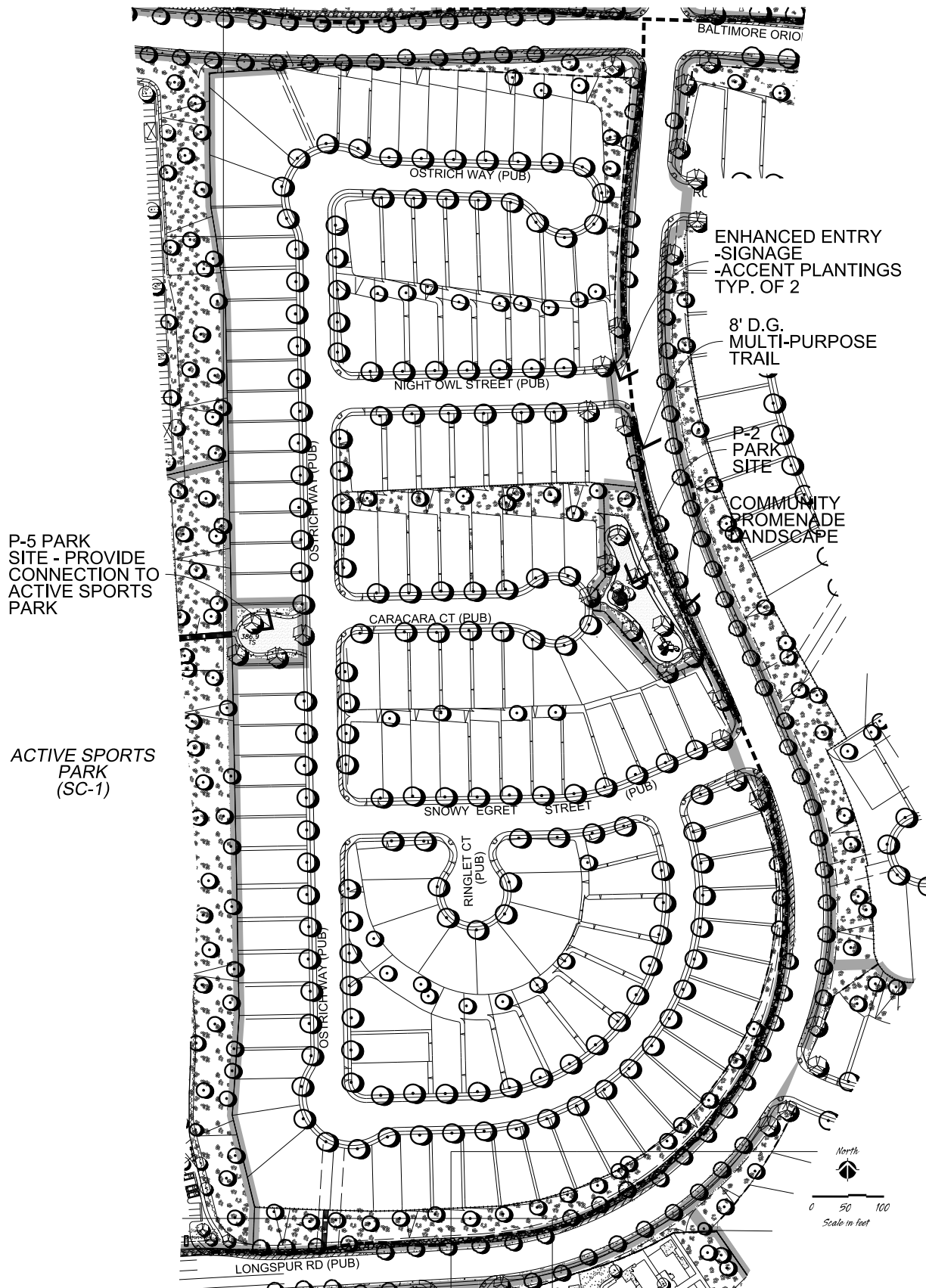
COMMUNITY WALL & FENCE CONCEPTS



TYPICAL MINIMUM LOT SETBACKS:

GARAGE DOOR:	20 FEET FROM PROPERTY LINE
FRONT YARD:	15 FEET FROM PROPERTY LINE
EXTERIOR SIDE YARD:	10 FEET FROM EDGE OF STREET RIGHT-OF-WAY
SIDE YARD:	5 FOOT SIDE YARD SETBACK
REAR YARD:	15 FEET FROM TOE OF SLOPE

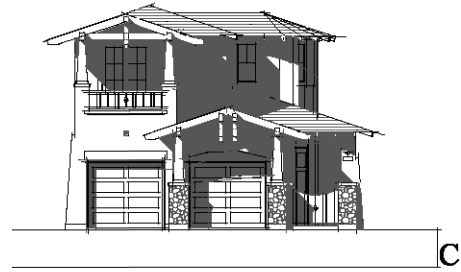
TYPICAL MINIMUM RESIDENTIAL LOT CONFIGURATION



CONCEPT SITE PLAN - NEIGHBORHOOD R-1

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 42



RIGHT SIDE ELEVATION



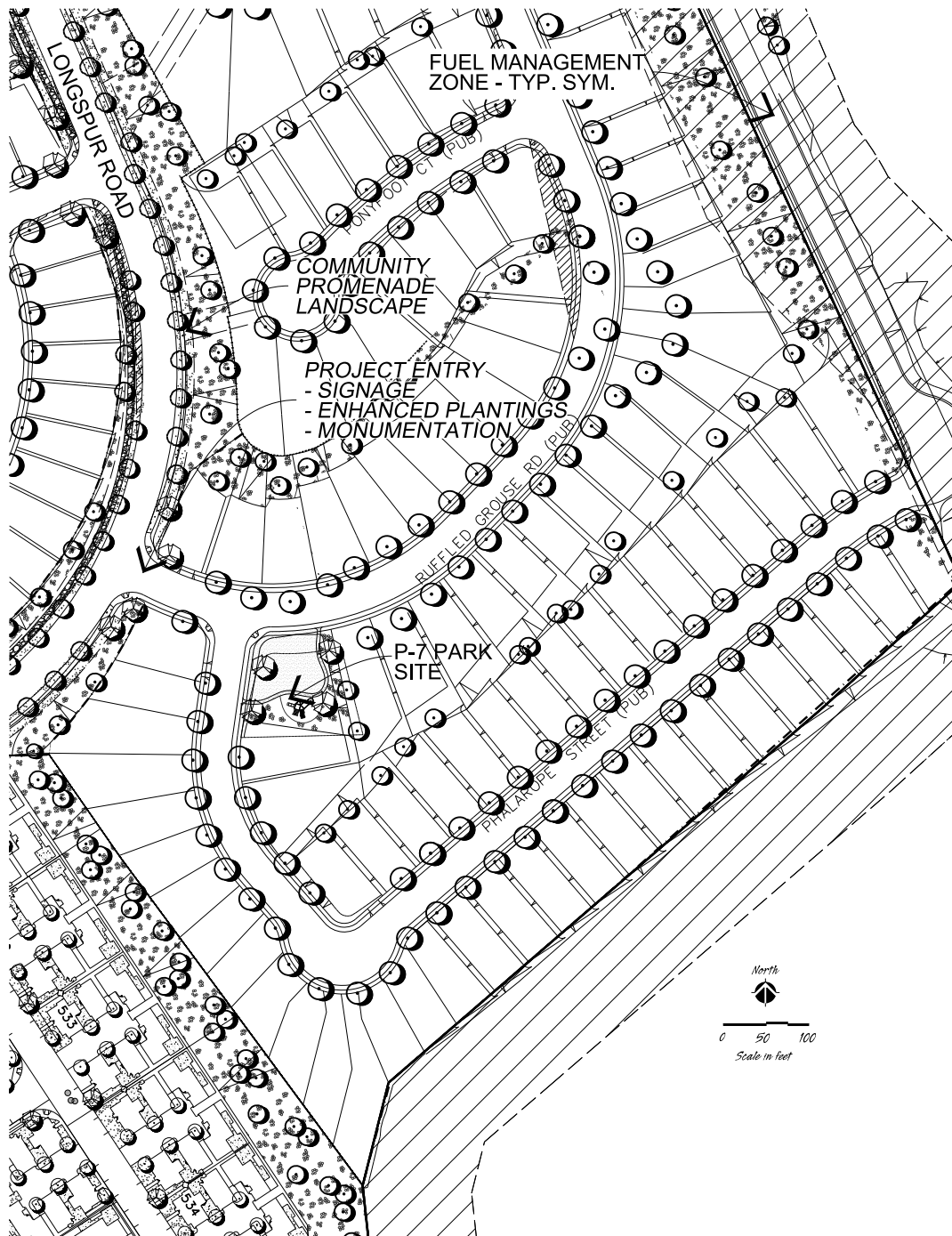
REAR SIDE ELEVATION



LEFT SIDE ELEVATION

TYPICAL ARCHITECTURE - NEIGHBORHOOD R-1

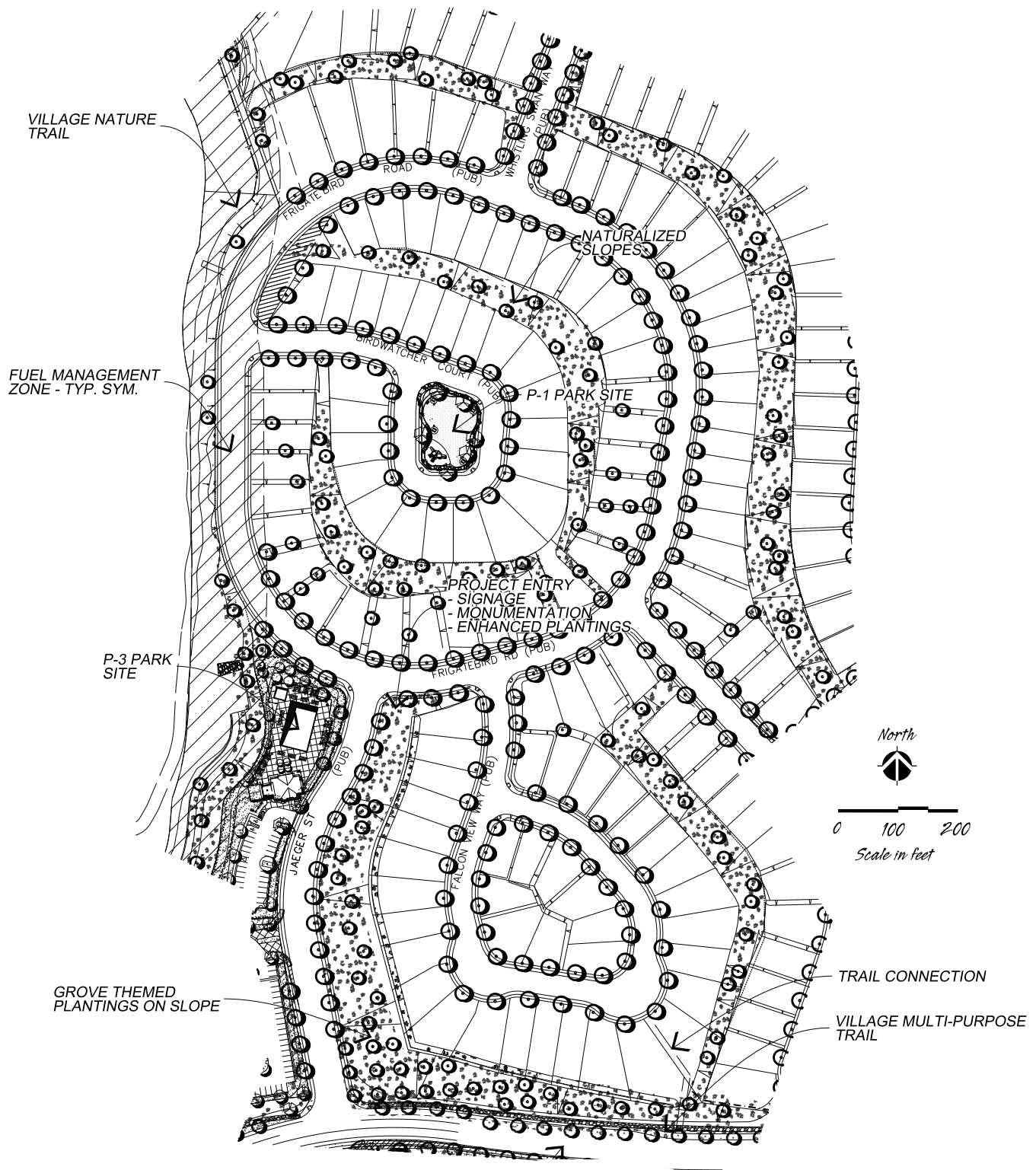
CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT



CONCEPT SITE PLAN - NEIGHBORHOOD R-2

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

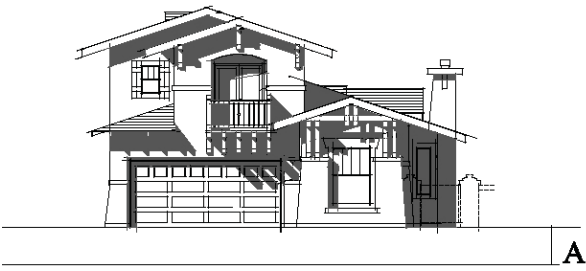
FIGURE 44



CONCEPT SITE PLAN - NEIGHBORHOOD R-4

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

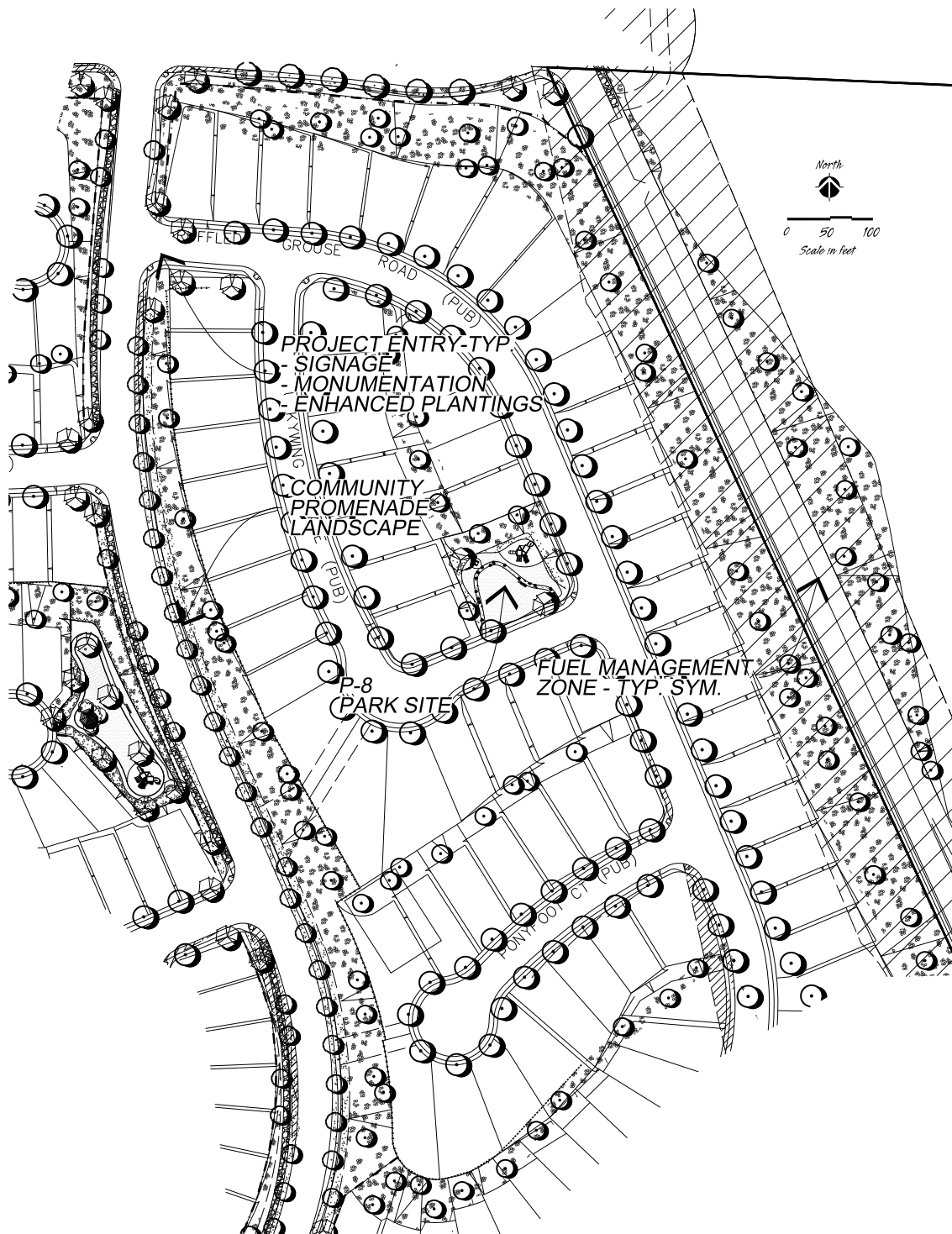
FIGURE 45



TYPICAL ARCHITECTURE R-2 & R-4

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

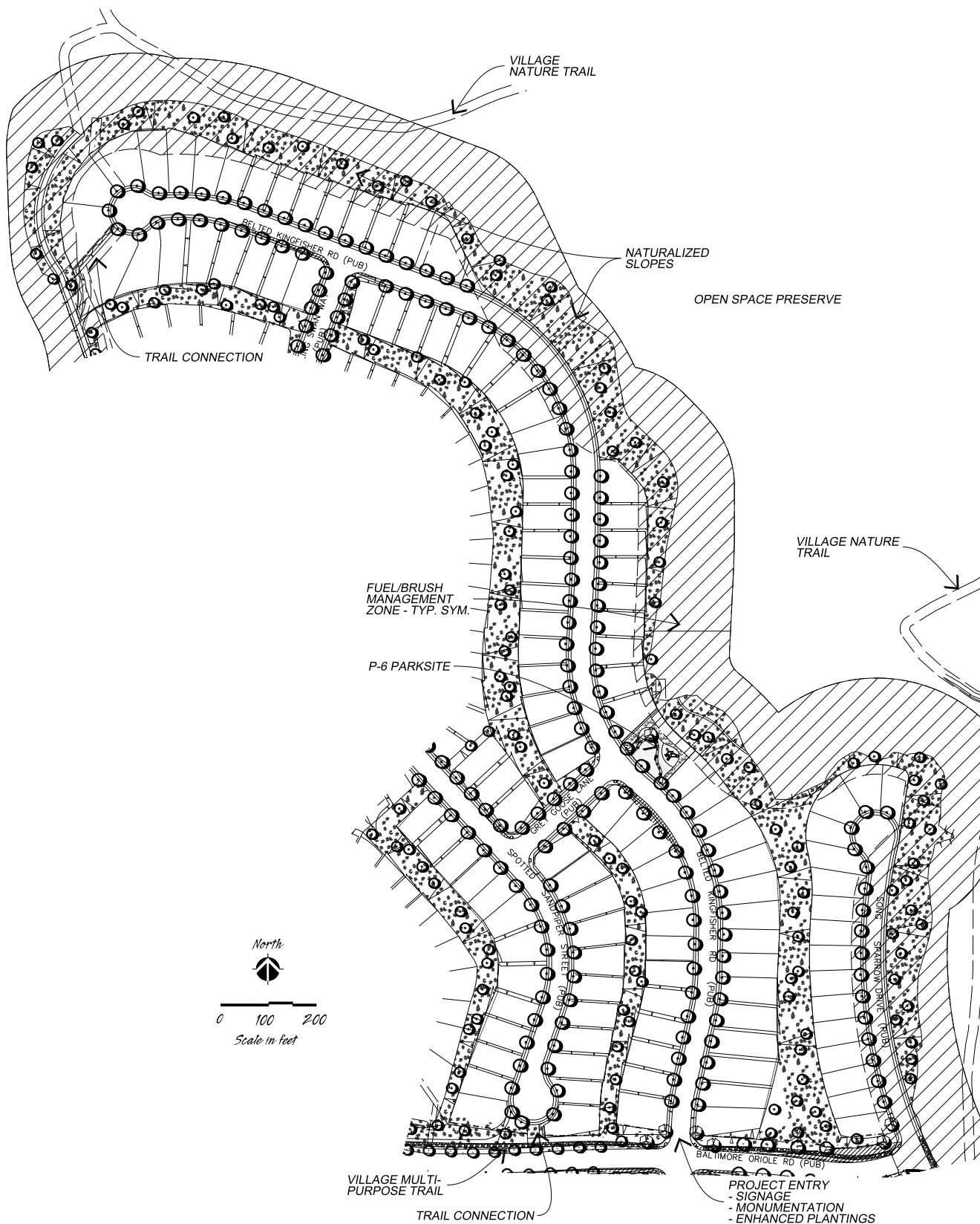
FIGURE 46



CONCEPT SITE PLAN - NEIGHBORHOOD R-3

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 47



CONCEPT SITE PLAN - NEIGHBORHOOD R-5

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 48



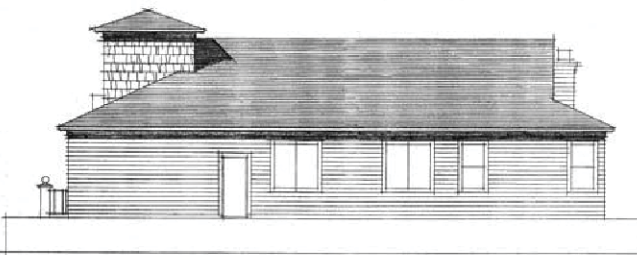
FRONT ELEVATION



FRONT ELEVATION



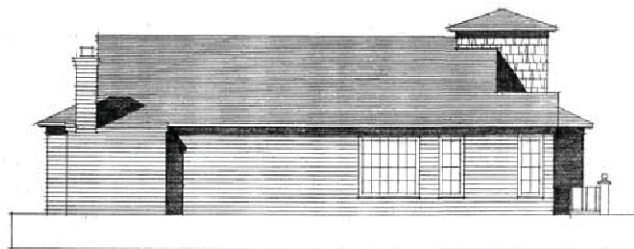
FRONT ELEVATION



RIGHT ELEVATION



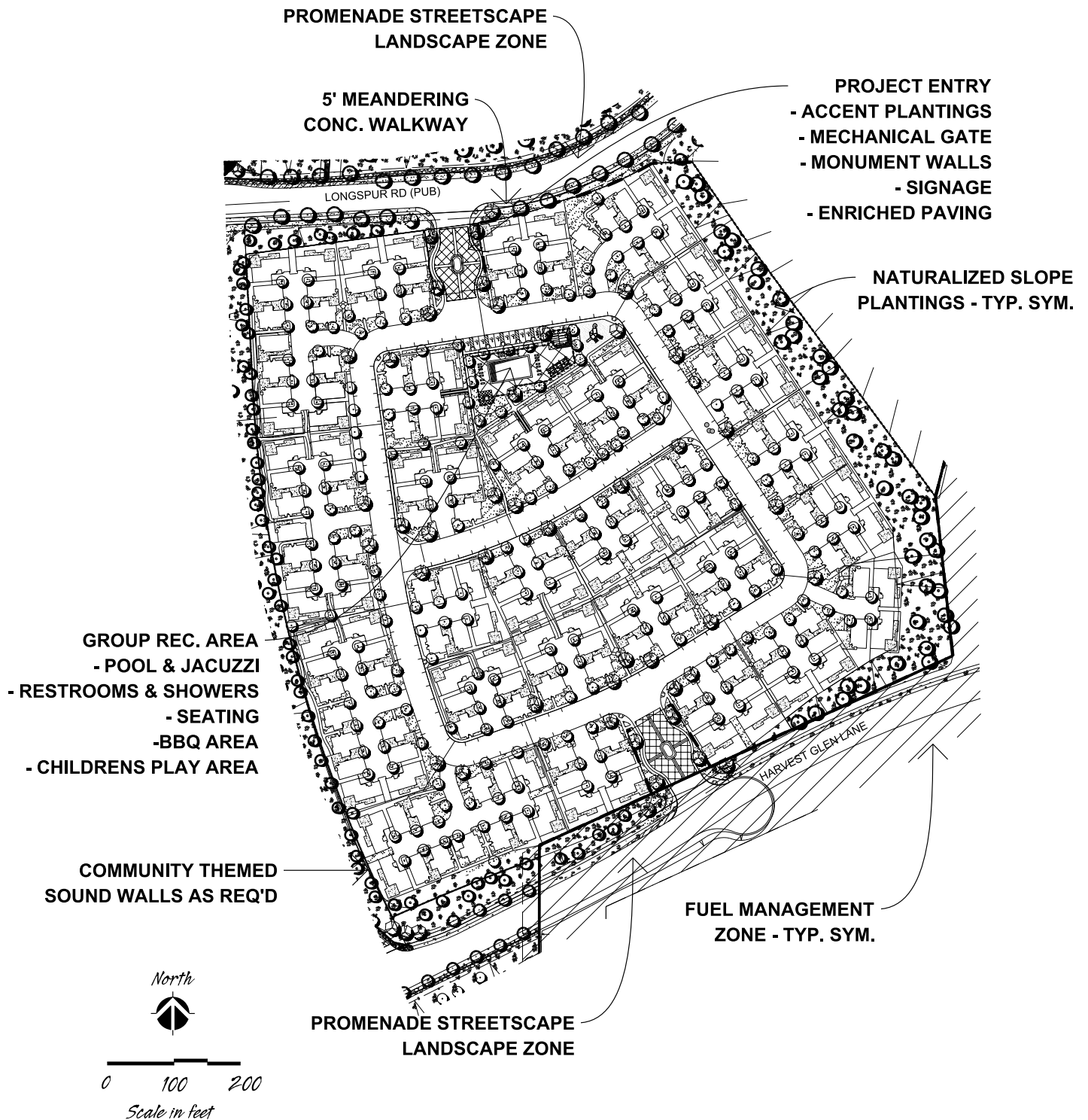
REAR ELEVATION



SIDE ELEVATION

TYPICAL ARCHITECTURE - NEIGHBORHOODS R-3 & R-5

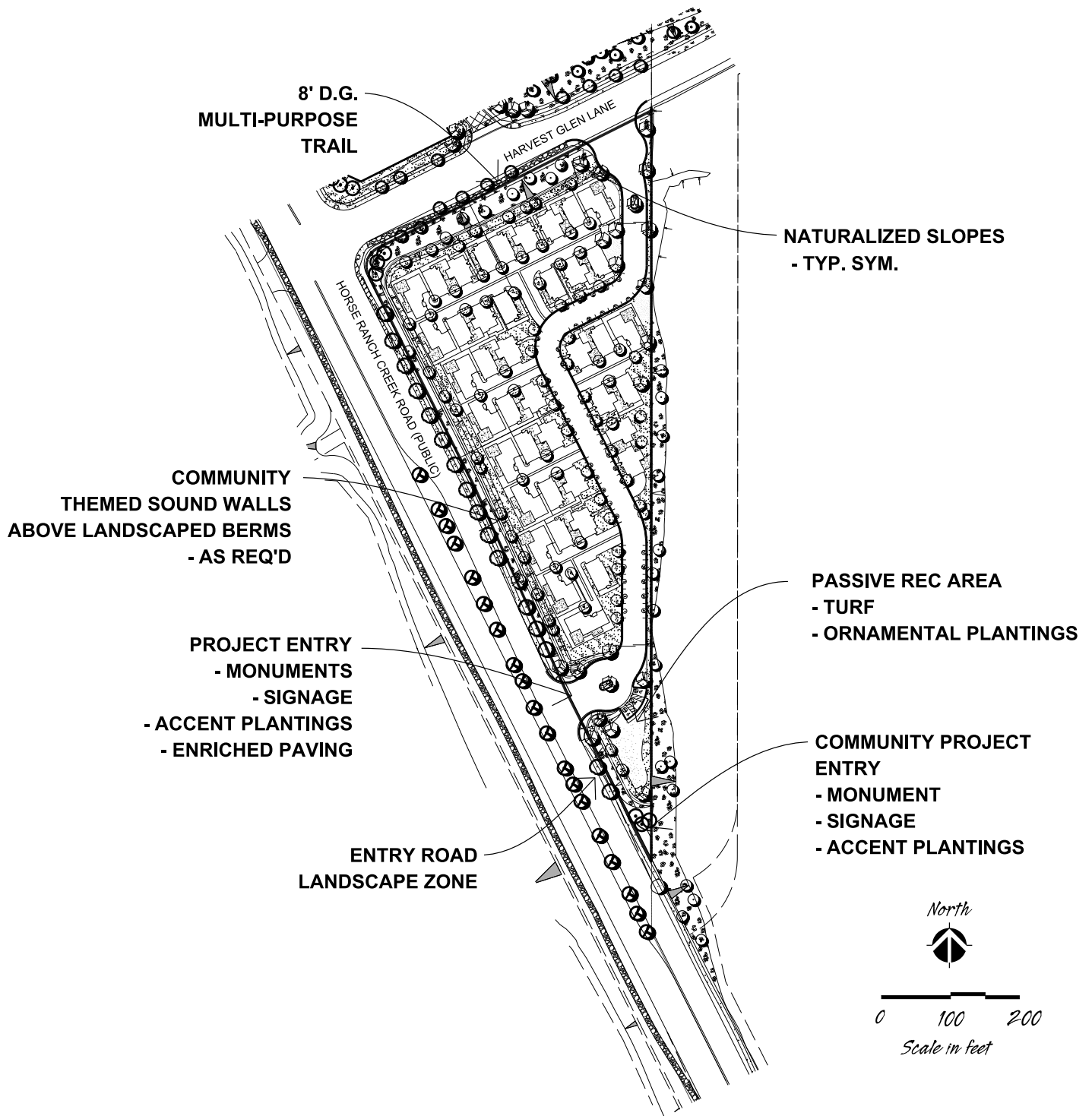
CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT



CANTERBURY SITE CONCEPT PLAN (MF-1)

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 50



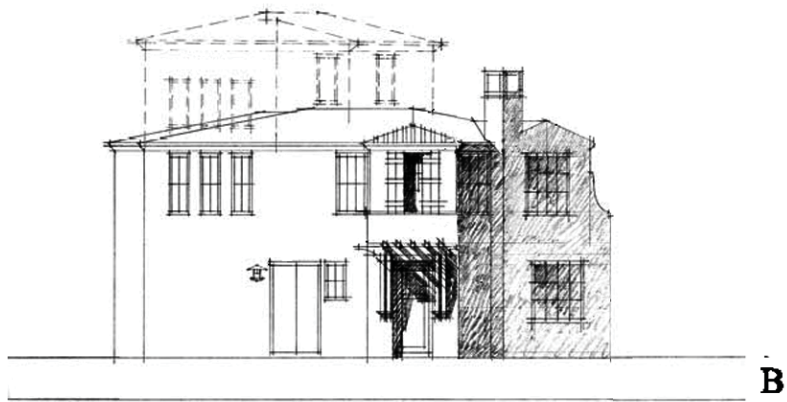
CANTERBURY COLLECTION SITE CONCEPT PLAN (MF-2)

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 51



TYPICAL MULTI-FAMILY STREETSCENE (MF-1 & MF-2)



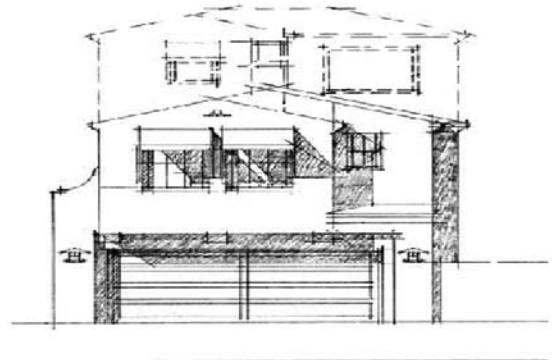
MULTI-FAMILY ELEVATIONS - TYPICAL (MF-1 & MF-2)

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

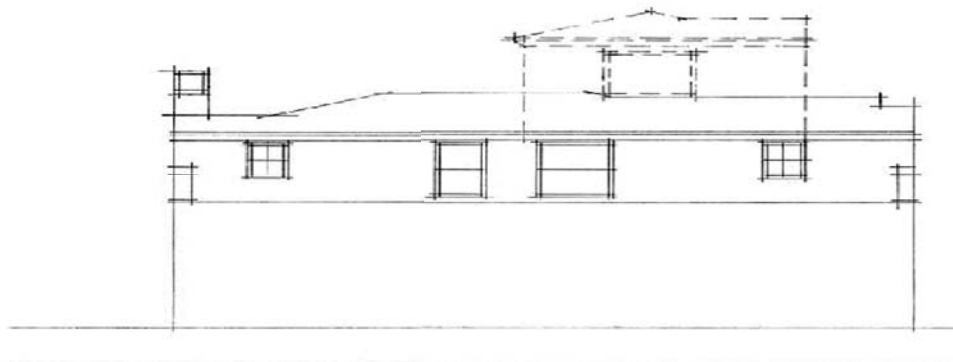
FIGURE 53



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

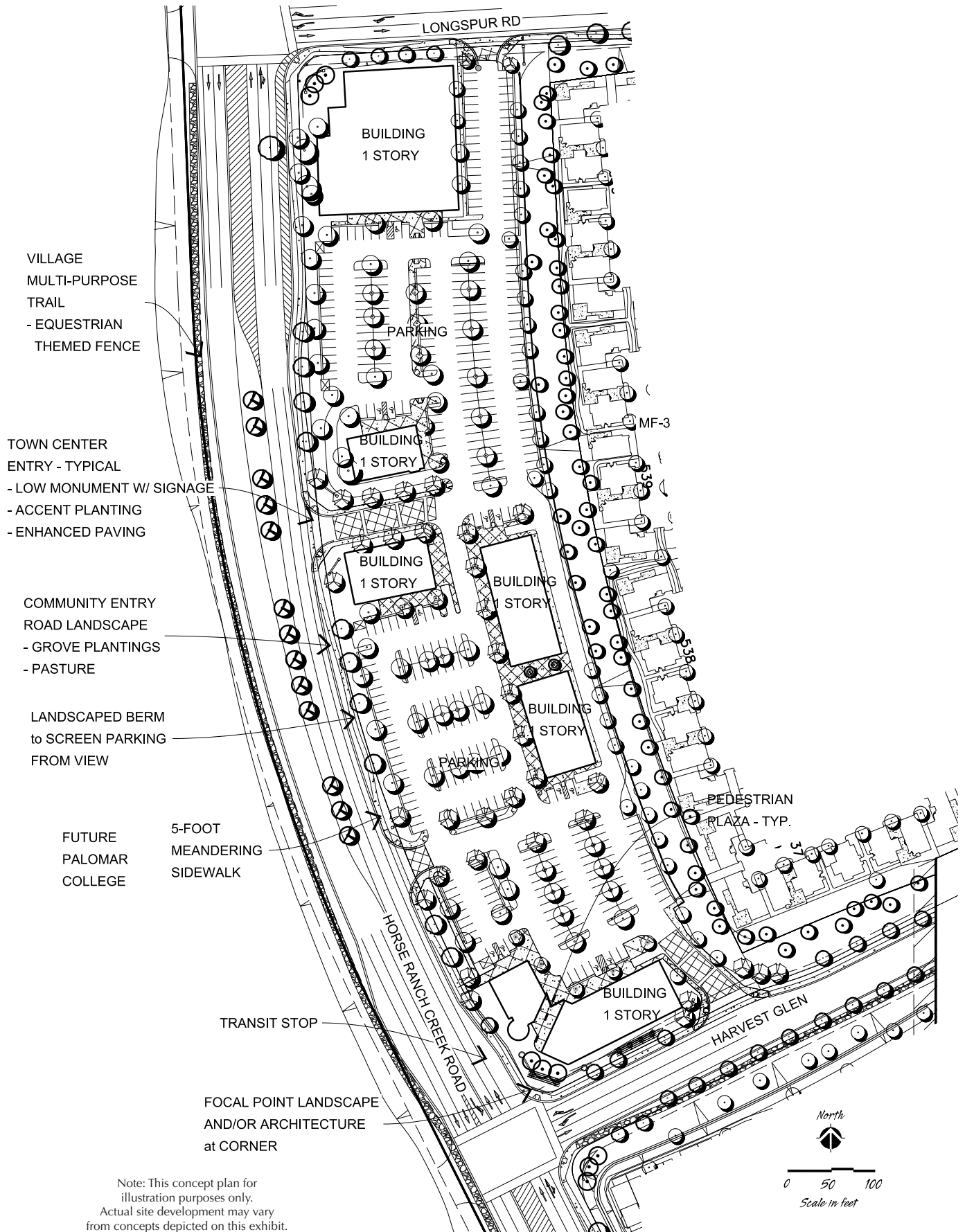


REAR ELEVATION

MULTI-FAMILY ELEVATIONS - TYPICAL (MF-1 & MF-2)

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

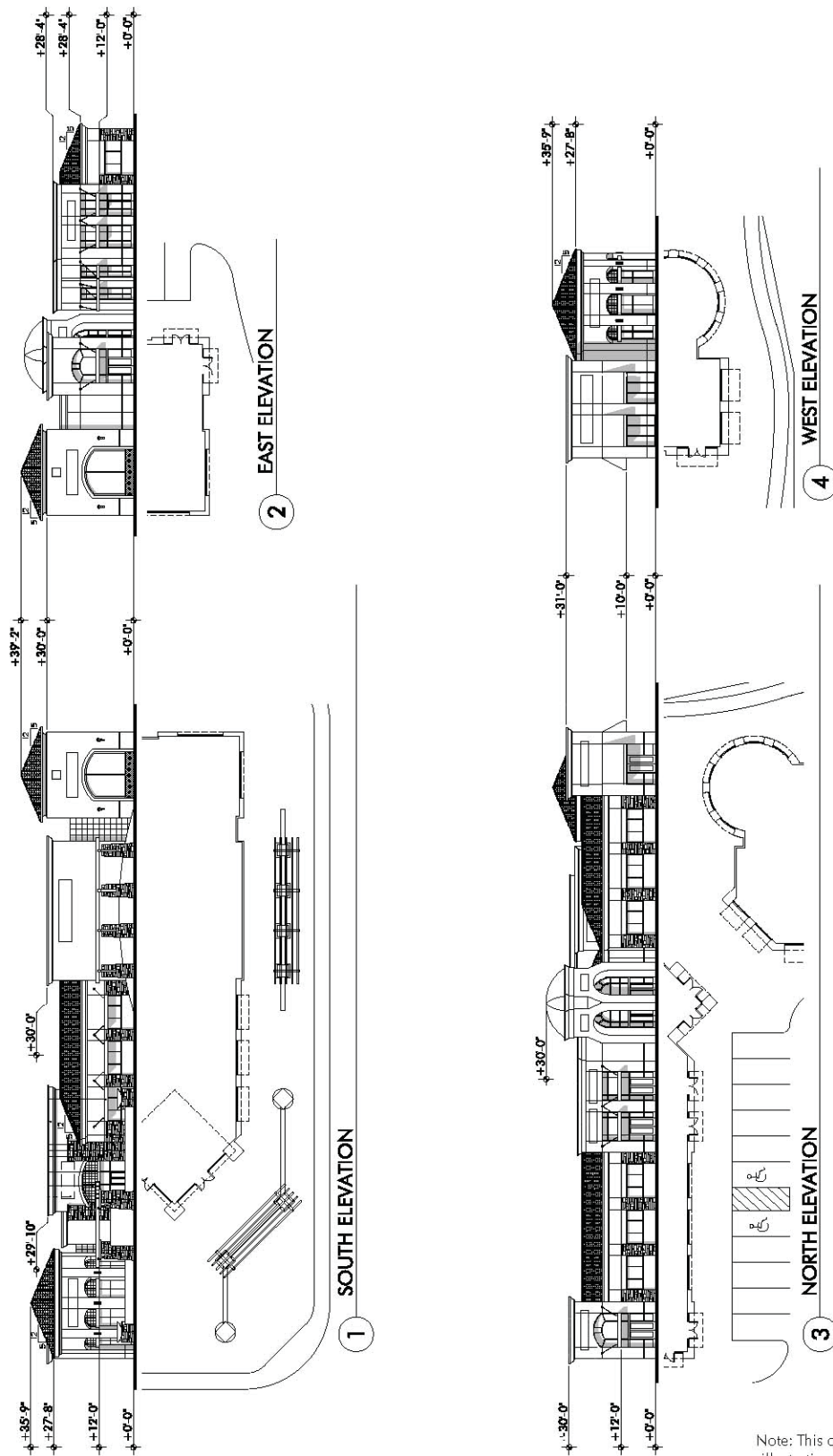
FIGURE 54



TOWN CENTER CONCEPT PLAN (TC-1)

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 55



Note: This concept plan for illustration purposes only. Actual site development may vary from concepts depicted on this exhibit.

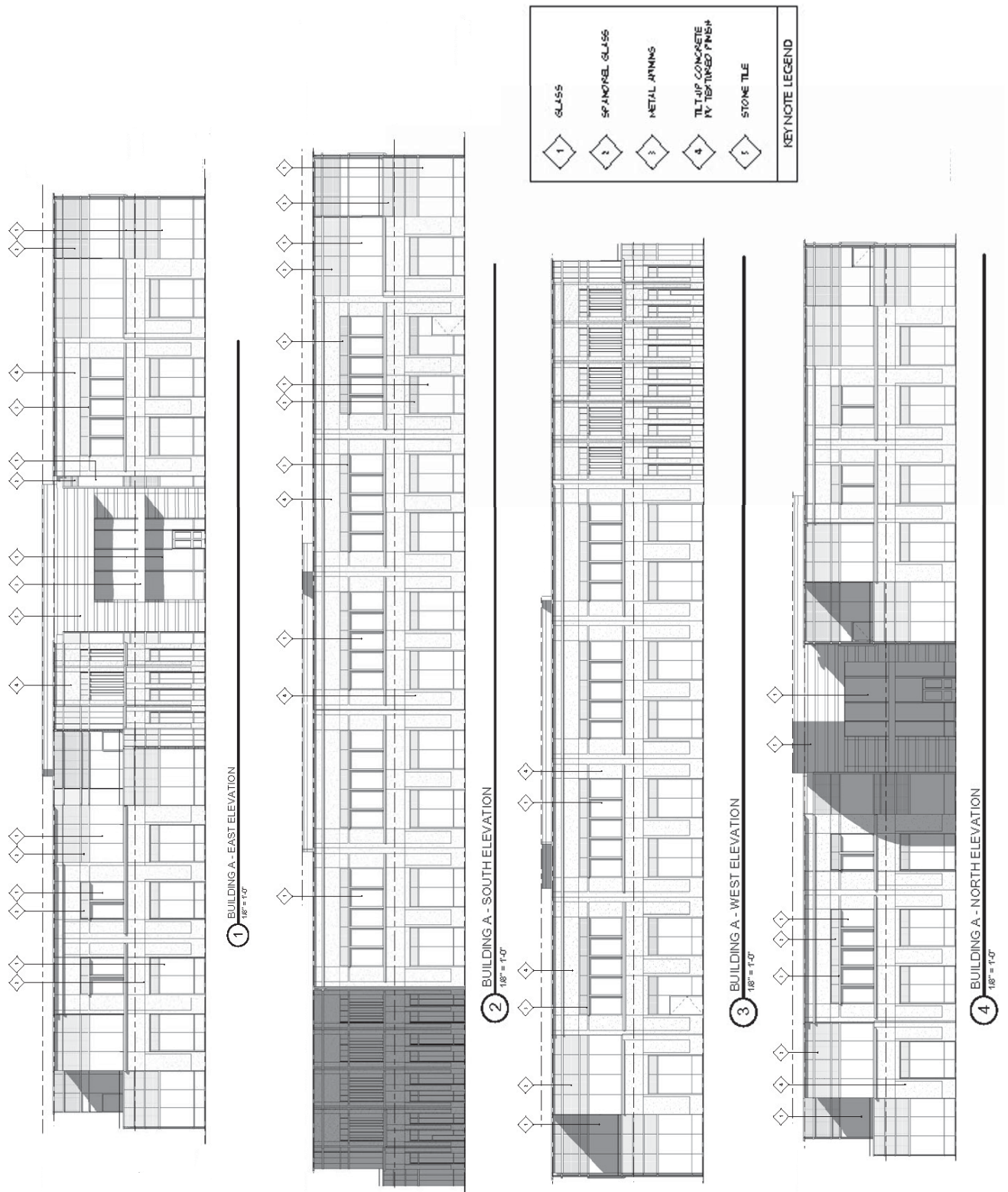
TOWN CENTER TYPICAL ARCHITECTURE (TC-1)

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 56



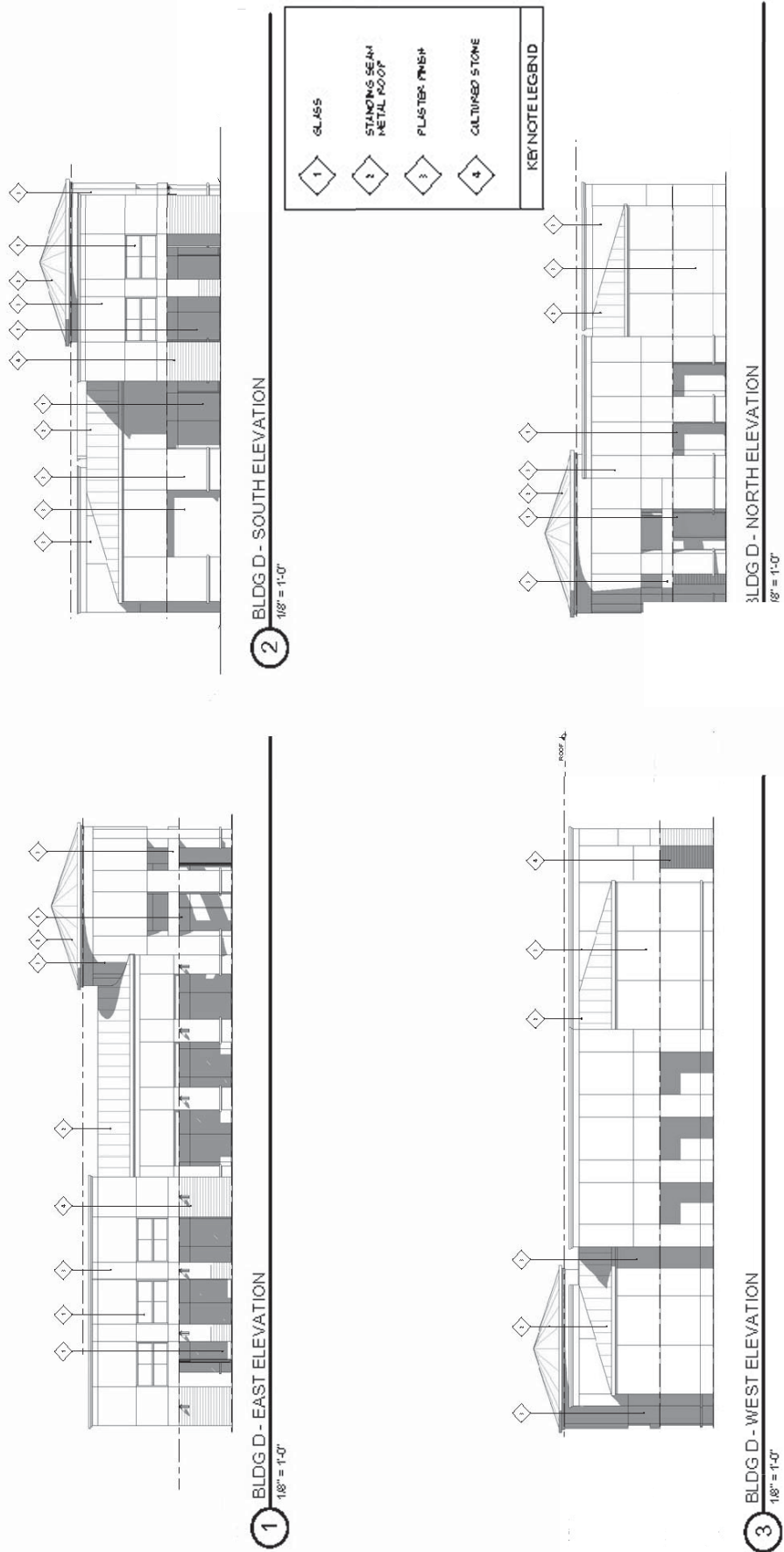
OFFICE PROFESSIONAL CONCEPT PLAN (PO-1 & PO-2)
 CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT



OFFICE PROFESSIONAL CONCEPTUAL 2-STORY ARCHITECTURE (PO-1 & PO-2)

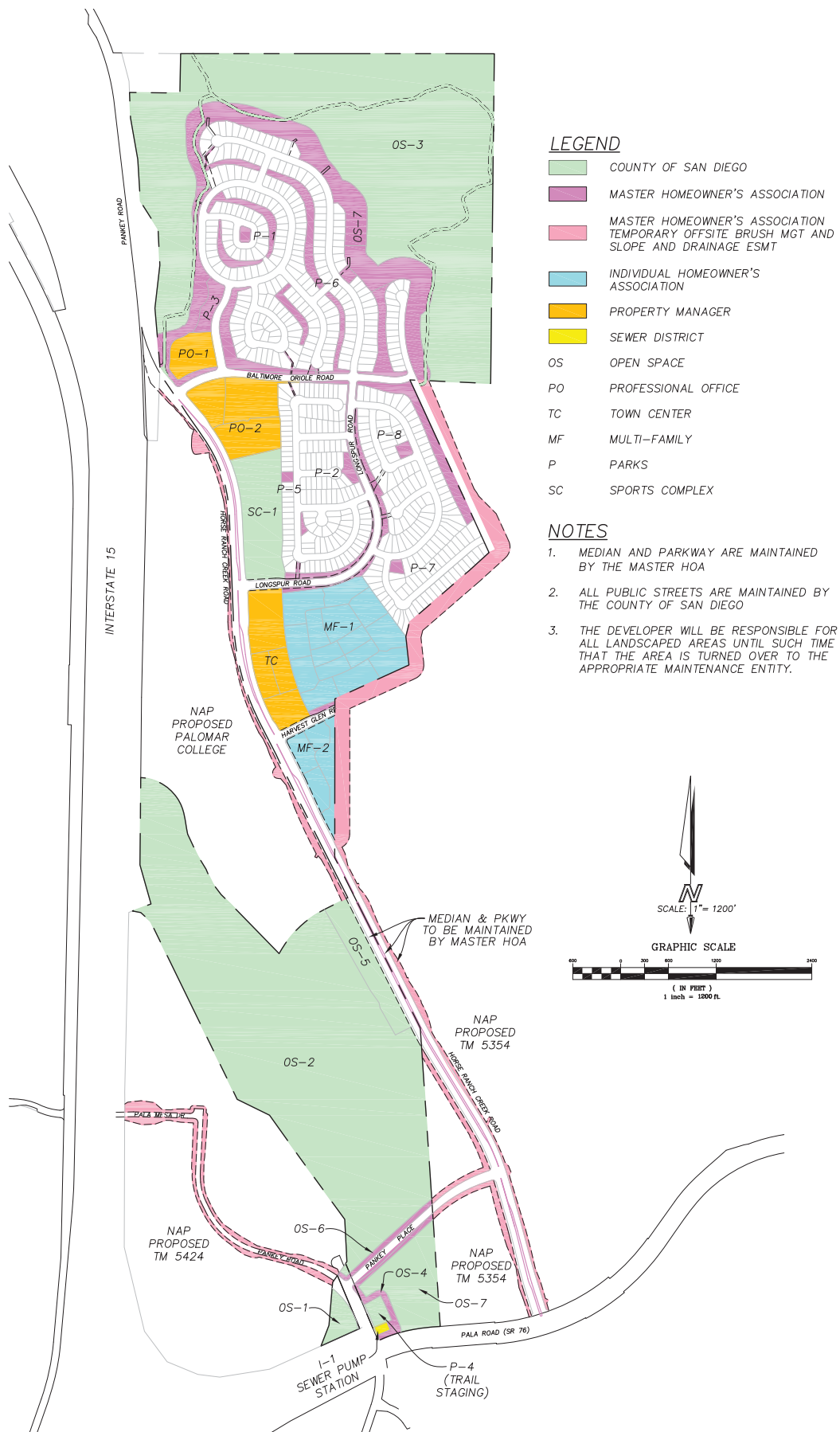
CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

FIGURE 58



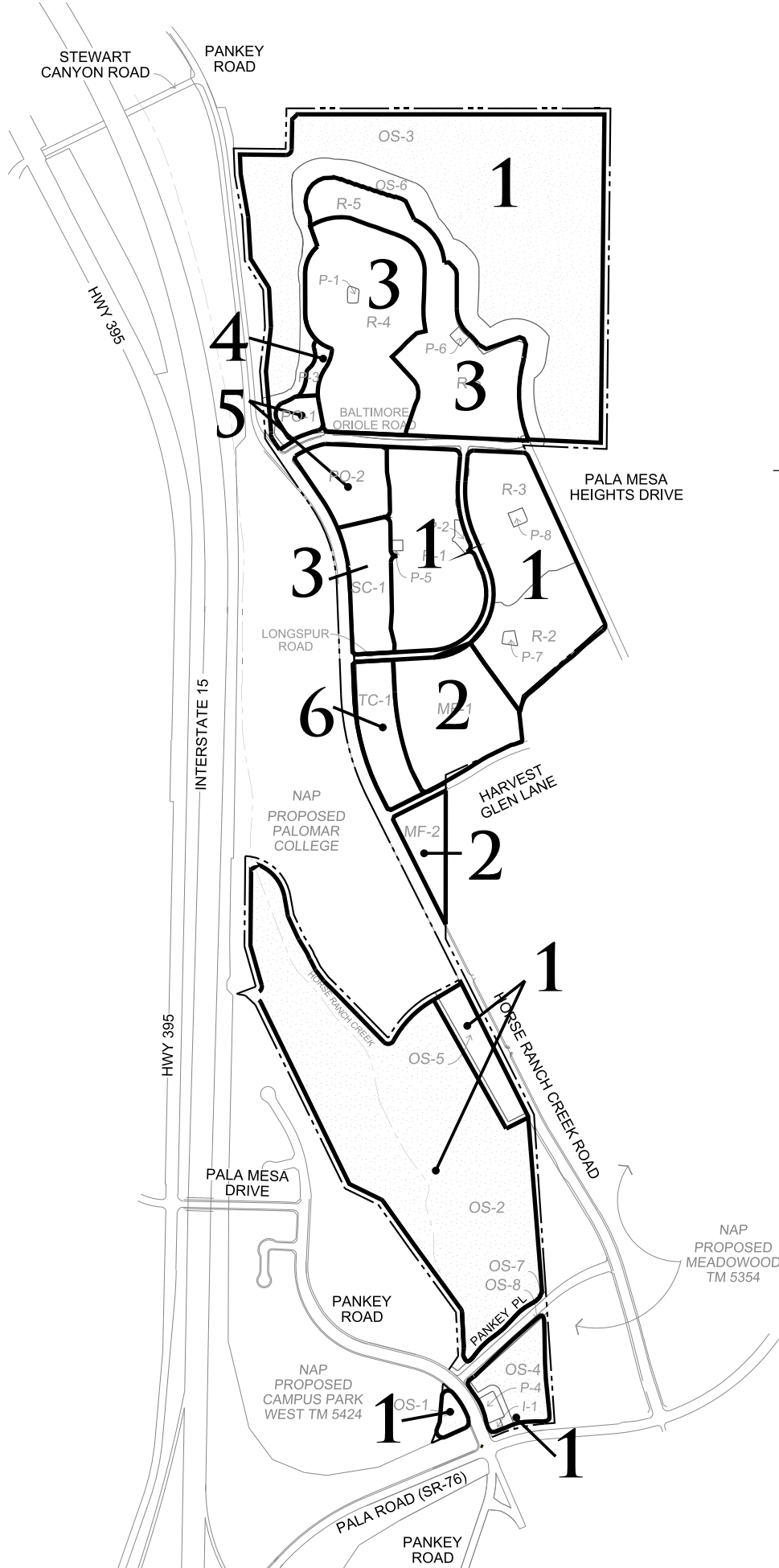
OFFICE PROFESSIONAL CONCEPTUAL 1-STORY ARCHITECTURE (PO-2)

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT



COMMUNITY MAINTENANCE

CAMPUS PARK SPECIFIC PLAN AMENDMENT & GENERAL PLAN AMENDMENT REPORT

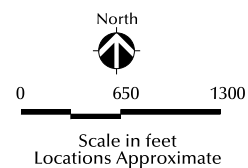


LEGEND

— PHASE BOUNDARY

NOTE:

1. Product phasing is subject to change based on market conditions.



PHASING



Campus Park Specific Plan Amendment & General Plan Amendment Report

*SPA 03-008, GPA 03-004, RO3-014, VTM 5338 RPL7, S 07-030, S 07-031,
LOG No. 03-02-059, SCH #2005011092*

November 2010

Campus Park Specific Plan Amendment & General Plan Amendment Report

***SPA 03-008, GPA 03-004, RO3-014, VTM 5338 RPL7, S 07-030, S 07-031,
LOG No. 03-02-059, SCH #2005011092***

November 2010

